



BEAVERCREEK PLANNING COMMISSION
Regular Meeting – June 3, 2020, 6:00 p.m.

- I. CALL TO ORDER
- II. ROLL CALL
- III. APPROVAL OF AGENDA
- IV. REORGANIZATION
- V. APPROVAL OF MINUTES
 - A. March 4, 2020
- VI. PUBLIC HEARINGS
 - A. PUD 13-5 Amendment 5/20, Germany Lane Development
 - B. Z-20-1, Franks Rezoning, R-1A to A-1
 - C. PC 20-5 ASRA, WesBanco Bank
 - D. PUD 88-21 MOD 5/20, Major, Raising Cane's Chicken Finger's
 - E. PC 20-4, Zoning Code Changes
- VII. SUBDIVISIONS
 - A. S-20-4, Darst Road Medical
- VIII. ADJOURNMENT

BEAVERCREEK PLANNING COMMISSION
REGULAR MEETING, March 4, 2020

PRESENT: Mr. Hight, Mr. Loftis, Mr. Meyer, Mr. Shrider

ABSENT: Mr. Self

Vice Chairman Loftis called the meeting to order followed by roll call. He welcomed new member Johnathon Meyer and thanked Tiffany Schwartz for her time on the Commission and congratulated her on her appointment to City Council. He also stated this was the first meeting without Jeff McGrath, and stated he would be missed.

Mr. Hight MOVED to excuse Mr. Self from the meeting. Motion was seconded by Mr. Shrider and PASSED by majority voice vote.

Mr. Shrider MOVED approval of the agenda. Motion was seconded by Mr. Hight and PASSED by majority voice vote.

Mr. Hight MOVED approval of the January 15, 2020 minutes. Motion was seconded by Mr. Meyer and PASSED by majority voice vote.

PUBLIC HEARINGS
PC 20-4, Zoning Code Updates

Clerk Gillaugh read the notice of public hearing for the purpose of reviewing an update to the Zoning Code.

Ms. Pereira stated over the course of the year staff had compiled a list of any changes that needed to be made to the Zoning Code, and approximately every year those changes are brought before the Commission and Council to keep the code updated. She explained one addition proposed is to add requirements for Solar Farms, and discussed the proposed parking requirement changes for the use Medical, Dental, or Veterinary Office or Clinic. Ms. Pereira referenced Section 158.173 (B)(7) which would allow the Engineering Department review rights to the permits before they are released, and explained why this addition was needed. She discussed several uses that were being proposed to be added or changed in the Appendix B, Schedule of Permitted Uses. Staff recommended approval of the case.

There being no public input, the public hearing was closed.

Mr. Loftis referred to Solar Farm, and assumed it was because it was the primary purpose. Ms. Pereira stated that was correct. Mr. Loftis asked about the deletion of the placards for the zoning permits. Ms. Pereira said there was a requirement in the Code that requires a person to post their zoning permit in a visible location, and stated it has never been done or required in the past so staff felt it needed to be removed. She also explained the permitting process has been changed and is done electronically now.

Mr. Shrider MOVED to approve PC 20-4. Motion was seconded by Mr. Hight. Motion PASSED by a roll call vote of 4-0.

DECISION ITEMS

PUD 519 MOD 8/19, Minor, Beaver Valley Shopping Center Signage (Tabled at November PC Meeting.)

Mr. Hight MOVED to untable PUD 519 MOD 8/19. Motion was seconded by Mr. Meyer. Motion PASSED by unanimous voice vote.

Ms. Pereira explained the applicant was before the Commission several months ago, and at that time staff was concerned with the overall size and scale of the sign as well as the design of it. She stated since that time the applicant has been working with staff, and a revision was submitted that staff feels is more consistent with the design expectations in the City of Beavercreek. Ms. Pereira explained the changes that have been made to the sign, and recommended approval of the case with six conditions.

Mr. Hight asked if there was smaller sign located closer to Chase Bank. Ms. Pereira said no.

Mr. Meyer asked if the LED panel dims at night. Jim Molnar, Wilson Sign Company, stated it does have dimming capabilities build into it.

Mr. Shrider stated staff made a comment that the bottom portion of the sign is smaller. Mr. Pereira explained the square footage area is smaller.

Mr. Shrider MOVED to approve PUD 519 MOD 8/19 with six conditions:

1. This request shall be bound by all prior conditions of PUD 519, except as modified herein.
2. The approved plans for this project shall be the plans stamped "Received February 26, 2020" except as modified herein.
3. A permanent sign permit must be approved by the Planning and Zoning Department for each of the signs prior to the start of construction.
4. All concerns and comments of the Planning and Zoning Department and City Engineer, shall be addressed and satisfied prior to release of a zoning permit.
5. The sign shall be located within a curbed landscape island containing landscaping around the base consistent with the requirements of the zoning code.

6. Perpetual maintenance of the landscaping shall be provided and any dead or diseased material shall be removed and replaced with similar types, species and size as what was originally installed within three months weather permitting.

Motion was seconded by Mr. Hight. Motion PASSED by roll call vote of 4-0.

Community Reinvestment Area

Mr. Burkett discussed a memo dated February 27, 2020, which stated he was looking to have the Commission appoint one of its members onto the Community Reinvestment Area Housing Council. He explained mid last year City Council reaffirmed a resolution that was approved in 2018 that designated the entire City has a Community Reinvestment Area (CRA). Mr. Burkett said a Community Reinvestment Area is an area that is designated for incentives for reinvestment where redevelopment would not occur without some help from the City. He discussed a CRA would work by exempting a portion of the increased property taxes post-renovation. Mr. Burkett discussed the CRA Guidelines, who would make up the Community Reinvestment Area Housing Council, and what the duties would be of the council. He did explain Mr. Self did send an email to staff expressing his interest in serving even though he wasn't present tonight. Mr. Burkett did not feel at the beginning the volume of meetings would be high. He explained it would be for a three-year appointment, and then after that time the Commission would reappoint someone.

Mr. Shrider asked if the person being appointed had to stay on the Commission for those three years. Mr. Burkett said no.

Mr. Shrider MOVED to appoint Mr. Self to the Community Reinvestment Area Council. Motion was seconded by Mr. Hight. Motion PASSED by roll call of 4-0.

SUBDIVISIONS

S-20-2, IH Credit Union & Brookfield Station

Ms. Pereira summarized the staff report dated February 28, 2020, on a request by IH Credit Union, 5000 Urbana Road, Springfield, OH 45502-9539. The applicant is requesting approval of a final subdivision for 2.794 acres at the southeast corner of Lantz and North Fairfield Roads. Staff recommended approval with five conditions, suggesting a fifth condition be added regarding the cross access easement.

Mr. Shrider MOVED to add Condition #5 regarding the cross access easement. Motion was seconded by Mr. Hight. Motion PASSED by unanimous voice vote.

Mr. Hight MOVED to approve S-20-2 with five conditions:

1. The approved record plan shall be the plan stamped "Received January 24, 2020", except as modified below.

BEAVERCREEK PLANNING COMMISSION, 3/4/2020

2. All conditions for approval of PUD 19-1 shall remain in full force and effect.
3. All concerns and comments of the Planning and Zoning Department, City Engineer, Beavercreek Fire Dept., and Greene County Sanitary Engineering Department shall be satisfied prior to release of the record plan for recording.
4. Prior to release of the record plat for recording, the applicant shall provide a digital format file of the finalized subdivision in Autocad or .dxf format.
5. Additional documentation further describing the cross access easement shall be required prior to release of the record plan.

Motion was seconded by Mr. Meyer. Motion PASSED by a roll call vote of 4-0.

S-20-3, Rock Drive

Ms. Pereira summarized the staff report dated February 28, 2020, on a request by YOLO Development 1, LLC, 3500 Pentagon Blvd., Beavercreek, OH 45431. The applicant is requesting approval of a final subdivision for approximately 9.5 acres that will accommodate the future Dayton Children's Medical Office Building. Staff recommended approval of the case with five conditions.

Mr. Shrider referred to the area where Lot 1 meets the property line, and asked how that worked since they don't own it. Ms. Pereira explained they do not owe it so it will stay as is and in the future right-of-way will be acquired and the road will be acquired.

Mr. Meyer MOVED to approve S-20-3 with five conditions:

1. The approved record plan shall be the plan stamped "Received February 03, 2020", except as modified below.
2. All conditions for approval of PUD 19-1 shall remain in full force and effect.
3. Rock Drive shall be vacated prior to the release of the record plan.
4. All concerns and comments of the Planning and Zoning Department, City Engineer, Beavercreek Fire Dept., and Greene County Sanitary Engineering Department shall be satisfied prior to release of the record plan for recording.
5. Prior to release of the record plat for recording, the applicant shall provide a digital format file of the finalized subdivision in Autocad or .dxf format.

Motion was seconded by Mr. Hight. Motion PASSED by a roll call vote of 4-0.

BEAVERCREEK PLANNING COMMISSION, 3/4/2020

Mr. Loftis announced there would be an Open House regarding the 2020 Land Use Plan Update on Thursday, March 12, 2020 between 5:00 p.m. to 7:00 p.m. at City Hall in the Council Chambers.

ADJOURNMENT

Mr. Hight MOVED adjournment at 6:35 p.m., seconded by Mr. Meyer. Motion PASSED by majority voice vote.

Melissa Gillaugh
Deputy Clerk

**CITY OF BEAVERCREEK
PLANNING COMMISSION
AGENDA ITEM REPORT**

Meeting Date: June 3, 2020 Agenda Reference No.:	Reference Topic: PUD 13-5 Amend 5-20 Germany Lane Amendment
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ACTION REQUESTED		
<input checked="" type="checkbox"/> Approval	<input type="checkbox"/> Disapproval	<input type="checkbox"/> Table
<input type="checkbox"/> Review and Comment	<input type="checkbox"/> No Action Requested	<input type="checkbox"/> Other _____

REQUEST BY APPLICANT:

The applicant is requesting an amendment to PUD 13-5 to add additional permitted uses into the 4.15-acre PUD.

STAFF RECOMMENDATION:

Staff is recommending approval of this rezoning as outlined in the attached Resolution

PROCEDURAL OPTIONS FOLLOWING ACTION:

The Planning Commission may choose to recommend approval, approval with conditions, disapproval, or tabling of this application.

Burkett

CITY OF BEAVERCREEK STAFF REPORT

May 29, 2020

PROJECT: Germany Lane Development

CASE NO.: PUD 13-5 Amendment 5/20

APPLICANT: John Kopilchack
3500 Pentagon Boulevard
Beavercreek, OH 45431

REQUEST

The applicant is requesting an amendment to PUD 13-5 to add additional permitted uses into the 4.15-acre PUD.

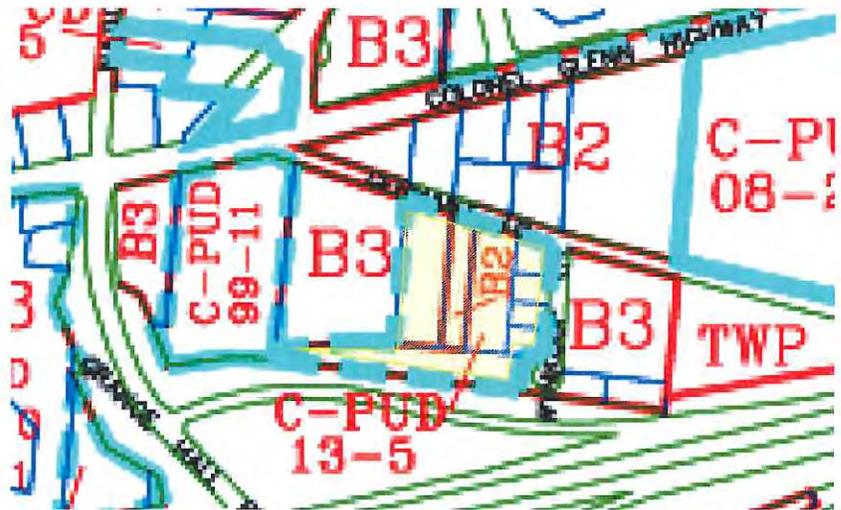
EXISTING CONDITIONS

Contained within the eight parcels are four separate permanent structures, totaling 4,300 square feet. The southeastern parcel fronting on the cul-de-sac has a single-story, older residential structure, with approximately 1,050 square feet of floor area. The three parcels fronting on Germany Ln. each have single story, older residential-style structures, setback from the road about 40 to 50 feet. From west to east, the structures are 1,040 square feet, 982 square feet and 1,200 square feet. Each of the current structures has its own direct access to either Germany Lane. or Wynkoop Court.



Current Zoning and Surrounding Land Use

The existing PUD (highlighted in blue) was created in late 2013 from a combination of B-2 and B-3 properties. Several uses are currently permitted within the PUD, and are listed as Exhibit A at the end of this Staff Report.



	Surrounding Zoning	Surrounding Use
North	B2	Zink Road Extension, non-conforming rental housing, construction company, vehicle fueling station
South	ROW	I-675 Right of Way
West	B3	Professional Office Building
East	B3	Hotel/Motel

Availability of Utilities

Public water and sewer are available to the site.

ANALYSIS

Land Use Plan

The Land Use Plan is going through an amendment at this time, and is expected to be completed by the end of the summer. This particular area is proposed to change from Research and Development-Office, Light Industrial and Hi Tech Manufacturing to Regional Commercial. While Regional Commercial typically wouldn't have high density residential in the center surrounded by other Regional Commercial, we have several instances where there is high density residential on the perimeter of Regional Commercial, such as Wright Town Properties', Mallard Landing and Ashton Brook. This high density residential would also be on the perimeter of Regional Commercial.



(2020 Land Use Plan Update Classifications)

The Land Use Plan states the following:

The next highest or lowest category of use indicated suitable for a given location may still comply with the goals and objectives of the Land Use Plan, thus not necessarily requiring a Land Use Plan amendment be approved by the City for a proposed development not strictly adhering to use designation(s) indicated for an area, provided adjacent land use compatibility is accounted for through recognition of the need to require effective screening and buffering between uses of differing intensity.”

“Planning Commission and/or City Council may determine that a proposed development is in compliance with the Land Use Plan even though the development does not mirror the land use category boundaries shown on the Land Use Map. “

This instance is a good candidate for broad interpretation of the Land Use Plan. First, the Land Use Plan is in the process update, and the property associated with this application is being proposed to change from Research and Development-Office, Light Industrial and Hi Tech

Manufacturing to Regional Commercial. Secondly, the property in question is on the fringe of (proposed) Regional Commercial, and not in middle of such an area, surrounded by Regional Commercial designation. Regional Commercial has several instances of High Density Residential on perimeter, Mallard Landing, Ashton Brooke, and Wright Town Commons are examples. Thirdly, this PUD has historically shown a limited viability for office and commercial uses. It has been zoned for several B-3 and O-1 uses for the last eight years with no movement. Lastly, the property is surrounded by uses that are compatible with either high density residential or student housing. As stated above, there is a hotel just to the east, Zink Road being completed to the north connecting Col. Glenn Highway and WSU, I-675 exit ramp is just to the south. These facts when taken individually may not justify a broad interpretation of the Land Use Plan, but collectively, staff is of the opinion that there is justification for such interpretation.

Proposed Zoning Change

With this amendment, the applicant is proposing to add:

- High Density Residential – up to 9.5 du/ac
- Dormitories associated with an institution of higher learning

Recommendation

Based on this analysis, Staff recommends approval of this request subject to the conditions outlined in the attached Resolution.

Exhibit A – Current Permitted Uses

Permitted and conditional uses in O-1 Districts

Permitted and conditional uses in B-3 Districts except the following:

- Amphitheaters/pavilions (Conditional)
- Auditoriums
- Pawn shops
- Payday loan services
- Public utility buildings, telephone exchanges, transformer stations and substations except garage and maintenance buildings (Conditional)
- Tattoo and piercing parlor (Conditional)
- Television and radio stations (Conditional)
- Vehicle paint and body shops (Conditional)
- Vehicle repair stations (Major) (Conditional)
- Vehicle sales and service (new and used) (Conditional)
- Vehicle service station (gas, lubricant, coolants and accessories only)
- Veterinary clinic with kennels or animal hospitals

RESOLUTION

CITY OF BEAVERCREEK
PLANNING COMMISSION
June 3, 2020

RE: PUD 13-5 Amendment 5/20
Germany Lane Development
Amendment 5/20

WHEREAS, John Kopilchack, 3500 Pentagon Blvd., Suite 500, Beavercreek OH 45431, has filed an application requesting approval to amend Ordinance 13-20 by adding certain uses to PUD 13-5. The property to be added is further described as Book 1, Page 9, Parcel 83, 85, 86, 87, 88, 89, 90 and 91 on the property tax maps of Greene County, Ohio; and

WHEREAS, public hearing was held on June 3, 2020 by the Beavercreek Planning Commission at which time all people who wished to testify gave their comments at the public hearing; and

WHEREAS, the Planning Commission finds that the facts submitted with this application and presented at the public hearing and any modifications, amendments, or supplementary conditions satisfy the standards and criteria for Planned Unit Development approval as per §158.073 of the Zoning Code.

NOW, THEREFORE BE IT RESOLVED that the Planning Commission recommends to the Beavercreek City Council:

SECTION I

1. All conditions of PUD 13-5 remain in full force and effect except where modified herein.
2. The following uses shall be included to the permitted uses in PUD 13-5:
 - High Density Residential – up to 9.5 du/ac
 - Dormitories associated with an institution of higher learning
3. This amendment is contingent on the approval of PC 20-3 Land Use Plan Amendment. Should the amendment to the Land Use Plan not be approved with this area being designated as either Regional Commercial or High Density Residential, then this amendment is null and void.

4. Planning Commission finds the proposed changes are compatible with the Land Use Plan for this particular development based on several factors, including, but not limited to the property's location, and surrounding uses.

SECTION II

These plans and all papers relating to the approved plan shall be submitted with this Resolution to City Council.

The Clerk is directed to transmit this case to City Council for further determination as required by law.

ADOPTED: June 3, 2020

VOTING FOR ADOPTION:

VOTING AGAINST: None

ABSENT:

Chairman

Attest:

PUD 13-5 Amend 5/20 Resolution

**CITY OF BEAVERCREEK
PLANNING COMMISSION
AGENDA ITEM REPORT**

Meeting Date: June 3, 2020	Reference Topic: Z 20-1
Agenda Reference No.:	Franks Rezoning

ACTION REQUESTED		
<input checked="" type="checkbox"/> Approval	<input type="checkbox"/> Disapproval	<input type="checkbox"/> Table
<input type="checkbox"/> Review and Comment	<input type="checkbox"/> No Action Requested	<input type="checkbox"/> Other _____

REQUEST BY APPLICANT:

The applicant is requesting approval for the rezoning of 6.283 acres from R-1A One Family Residential to A-1 Agricultural.

STAFF RECOMMENDATION:

Staff is recommending approval of this rezoning as outlined in the attached Resolution

PROCEDURAL OPTIONS FOLLOWING ACTION:

The Planning Commission may choose to recommend approval, approval with conditions, disapproval, or tabling of this application.

Burkett

CITY OF BEAVERCREEK STAFF REPORT

May 29, 2020

PROJECT: Franks Rezoning

CASE NO.: Z 20-1

APPLICANT: **Richard L. Franks**
109 Castle Pine Court
Xenia, OH 45385

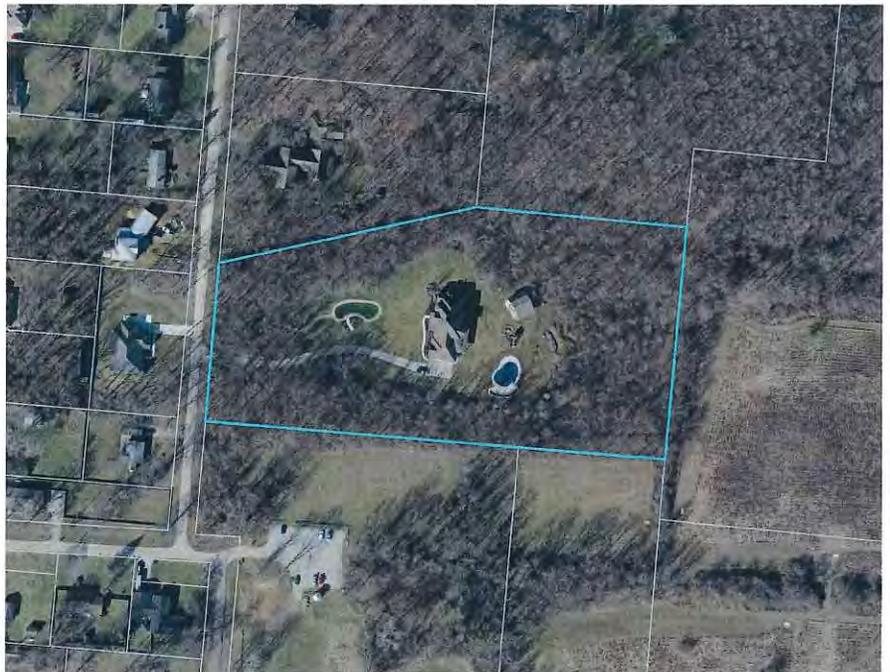
REQUEST

The applicant is requesting approval for the rezoning of 6.283 acres from R-1A One Family Residential to A-1 Agricultural for the purpose of constructing a 6-foot chain-link fence (not permitted in R-1A districts) along the perimeter of the rear and side yards. The applicant has stated the desire to construct this fence to help marginalize trespassing from users of Karhol Park (Greene County Parks District), which is immediately south of his property. He has also expressed the desire to potentially raise chickens, and raise a miniature pony for 4-H purposes, again not permitted within R-1A districts. The parcel is located on the east side of Maple Lane, approximately 210 feet north of the intersection of Hohl Drive and Maple Lane.

EXISTING CONDITIONS

Current Zoning and Use

As stated, the property is currently zoned R-1A, One Family Residential. As evident on the aerial photo to the right, the property has a single family residential house setback



approximately 350 feet from the Maple Lane right-of-way. The property has approximately 250 feet of frontage on Maple Lane, and is approximately 770 feet deep.

Land Use Plan

Surrounding Zoning/Use

The subject property has R-1A surrounding it on all sides. The R-1A properties to the north and west are large lot single family residential. Deerbrook Chase is within 600 feet to the east of this property, and has several similarly sized A-1 lots in the neighborhood. The R-1A property to the south is a public park. The property to the west is a single family residence.



Land Use Plan

The area associated with this application is classified as low-density single family residential on the Land Use Plan. The proposed zoning change to A-1 is consistent with the Land Use Plan, as the property will still be residential, and very low density. There is no category on the Land Use Plan for Agricultural use.

Agricultural Districts

These districts are intended to encourage and preserve agricultural uses as part of a balanced and diversified economy in the city, as well as to provide a district for properties within the city which are currently being used for agricultural purposes and/or which may be in a transitional stage with regard to development, due to the lack of urban facilities and services. Agricultural activities include the use of land for farming, dairying, pasturage, agriculture, horticulture, floriculture, viticulture, the care and/or husbandry of agricultural animals, and the necessary accessory uses for packing, treating or storing the produce; provided, however, that the operation of any such accessory uses shall be secondary to that of normal agricultural activities and provided further that the above uses shall not include the commercial feeding of garbage or offal to swine or other animals. Such activities, with the exception of a private, non-commercial garden, are not permitted in residential districts.

While this is a wide breadth of uses, it should be noted that the applicant lives at the property in

question, and has a 5,000 square foot house, built in 2012 centrally located on the property. This fact, coupled with the limited size of the property relative to most commercial agricultural properties, suggests that the likelihood of any large scale obnoxious agricultural activity occurring on this property is low.

Recommendation

Based on this analysis, staff recommends approval of this request subject to the conditions outlined in the attached Resolution.

LETTER OF INTENT

Richard Franks & Debra Edwards
1820 Maple Ln
Beavercreek, OH 45432
(937) 431-4803
franksr265@woh.rr.com

May 9, 2020

Department of Planning & Development
City of Beavercreek
1368 Research Park Dr.
Beavercreek OH 45432

REFERENCE: 1820 Maple Ln Rezoning Application Submitted May 7, 2020

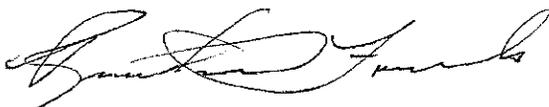
Dear Department of Planning & Development:

In regard to our zoning amendment application submitted last week, Deb and I want to provide additional support beyond the allocated space and criteria limits in the application. We are requesting the rezoning of our property from R-1A to A-1 to allow us greater opportunity for use of our land. Upon purchase, the lot was completely undeveloped and comprised of 6.28 acres of largely wooded land tucked in next to 28 Acres of Greene County property.

Our intent is to clear off some of the back lot that is adjacent to the park and be able to better utilize the land. We now have a 5-year-old son that we want to be able to take part in 4-H activities, which the current city zoning of our property would not support. We would like to have a miniature pony on the property as well as the possibility of 2 or 3 chickens to allow him the experience first-hand. We have considerable distance between neighbors would provide a proper containment for the pony and proper pens for the chickens. We also recognize our obligation to address any of the neighbors concerns they may have, and the seclusion of our property provides significant insulation.

Deb and I appreciate your consideration in this matter and stand by for any further direction or instructions on advancing the rezoning process for our property.

Sincerely,



Richard Franks & Debra Edwards

May 9, 2020

RESOLUTION

CITY OF BEAVERCREEK
PLANNING COMMISSION
June 3, 2020

RE: Z-20-1
R-1A One Family Residential
District to A-1 Agricultural

WHEREAS, Richard L. Franks, 1820 Maple Lane, Beavercreek OH 45432, has filed an application requesting approval of an amendment of zoning classification from R-1A One Family Residential District to A-1 Agricultural District for 6.283 acres, located at 1820 Maple Lan, further described as Book 5, Page 9, Parcel 33 on the property tax maps of Greene County, Ohio; and

WHEREAS, a public hearing was held on June 3, 2020 by the Beavercreek Planning Commission at which time all people who wished to testify gave their comments at the public hearing.

NOW, THEREFORE BE IT RESOLVED that the Planning Commission recommends to Beavercreek City Council the following:

A. That approximately 6.283 acres of land incorporated within this request and known as B42000500090003300 and as further described in the attached Exhibit A be rezoned to A-1 Agricultural District.

The Clerk is directed to transmit this case to City Council for further determination as required by law.

ADOPTED: June 3, 2020

VOTING FOR ADOPTION:

AGAINST:

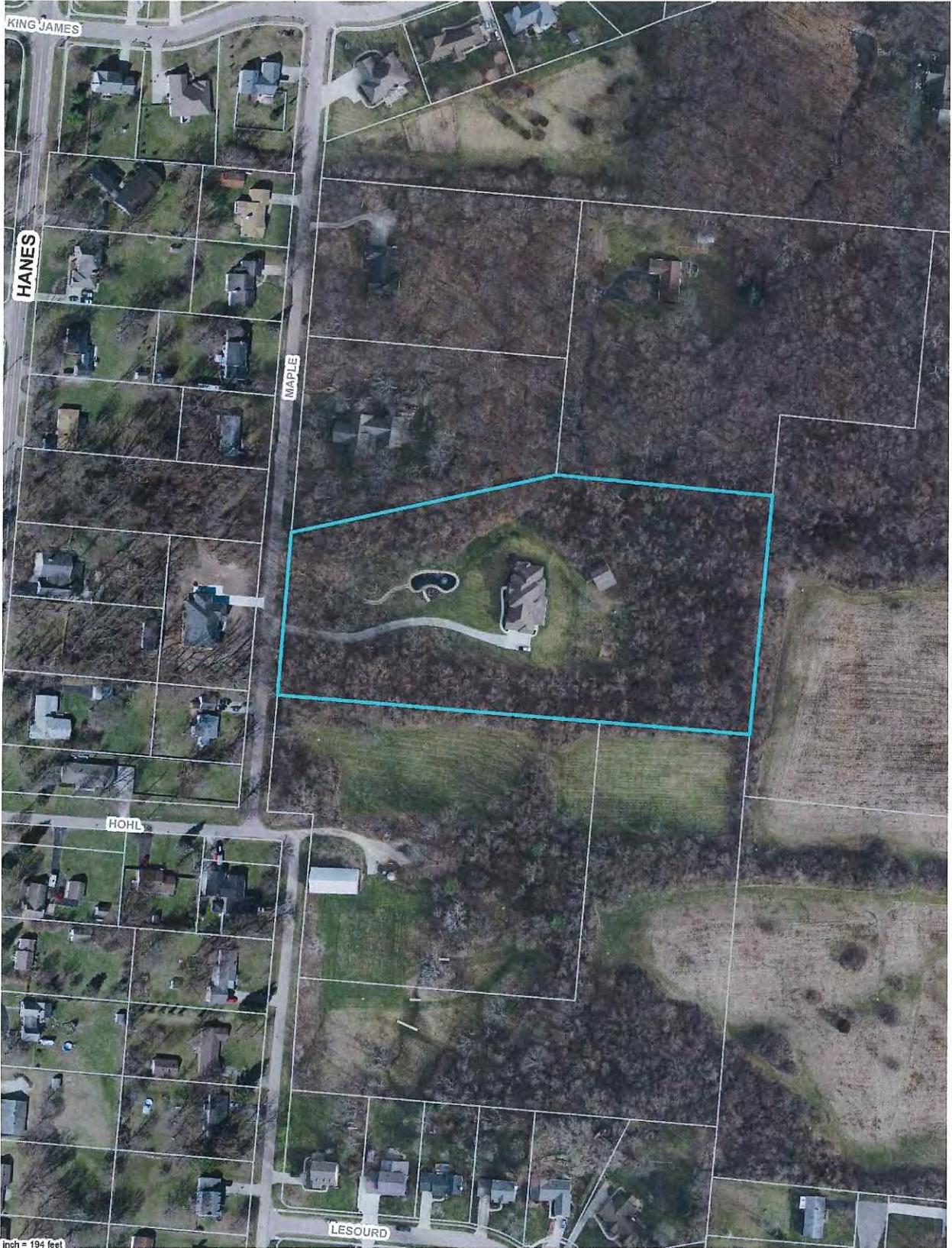
ABSENT:

Chairman

Attest:

Z-20-1 Resolution

Exhibit A



Inch = 194 feet

**CITY OF BEAVERCREEK
PLANNING COMMISSION
AGENDA ITEM REPORT**

Meeting Date: June 3, 2020	Reference Topic: PC 20-5 ASRA
Agenda Reference No.:	WesBanco Bank

ACTION REQUESTED		
<input checked="" type="checkbox"/> Approval	<input type="checkbox"/> Disapproval	<input type="checkbox"/> Table
<input type="checkbox"/> Review and Comment	<input type="checkbox"/> No Action Requested	<input type="checkbox"/> Other _____

REQUEST BY APPLICANT:

The applicant is requesting Administrative Site Plan Review Approval (ASRA) for an approximately 2,600 square foot bank, proposed to be located at 1243 North Fairfield Road.

STAFF RECOMMENDATION:

Staff is recommending approval of this ASRA as outlined in the attached Resolution.

PROCEDURAL OPTIONS FOLLOWING ACTION:

The Planning Commission may choose to recommend approval, approval with conditions, disapproval, or tabling of this application.

Pereira

CITY OF BEAVERCREEK STAFF REPORT

May 28, 2020

PROJECT: WesBanco Bank
CASE NO.: PC 20-5 ASRA
APPLICANT: Chris Humphrey
4495 Millwater Dr.
Powell OH 43065

REQUEST

The applicant is requesting Administrative Site Plan Review Approval (ASRA) to allow for the construction of an approximately 2,600 square foot bank, proposed to be located at 1243 North Fairfield Road.

ANALYSIS

This property falls within a PDA (Planned Development Area) overlay district on the City's Land Use Plan. As a planned development area, this property is subject to the Administrative Site Plan Review Approval process. The ASRA process involves two public hearings, with Planning Commission making a recommendation to City Council, and City Council making a decision for or against approval.

Existing Conditions

The proposed location is an approximately 1.3 acre parcel just south of the Dayton-Xenia and North Fairfield Road intersection. The property contains a residential structure that was converted into what was most recently a plumbing business and a detached garage to the rear of the structure. This proposal would call for the demolition of both structures and removal of all paved areas.



Zoning and Surrounding Uses

The property is currently zoned B-2, Community Business, and will remain as such. A bank is a permitted use within the B-2 zoning district. The surrounding uses are as follows:

Direction	Surrounding Zoning	Surrounding Use
North	B-2	Multi-tenant office building
South	B-2	Restaurant with drive-thru (Frisch's)
East	B-2 and C-PUD	The B-2 portion is being used as office (UTC), and the PUD parcel is a restaurant (Tim Horton's)
West	R-1A	Residential properties

Building Setbacks and Buffers

In B-2 zoning districts, the minimum yard requirements are as follows:

Yard Requirements	
Front Yard	70 feet from property line, unless City Engineer has established all needed ROW has been acquired, if so, then 40'
Rear Yard	30 feet from rear property line.
Side Yard	15 on each side.

As shown in the attached plans, the proposed site plan shows the building being located approximately 170 feet from the front property line, 28 feet from the left side property line, and 41 feet from the right side property line. The building is shown to be approximately 186 feet from the rear property line, to the west, that abuts the residential zoning district.

Because of this commercial development's adjacency to a one-family residential district, the zoning code requires a 50-foot buffer. As shown in the attached plans, no buildings or paved surfaces will be located within 50 feet of that western property line, and only a stormwater detention pond will be permitted within that buffer area. The applicant is also providing a 25-foot tree preservation area and grading limit at the rear of the property in order to maintain as much greenspace between the bank and the residential property.

Building Design

The applicant proposes to construct a 20-foot tall building at its tallest point, well below the maximum building height in a B-2 district of 35 feet. The 2,595 square foot building is 63 feet long and 60 feet wide and as previously stated will be located 186 feet from the adjacent residential properties. The majority of the structure will be comprised of a stone veneer with EIFS, Stonewood, and metal accents. Color renderings have been provided in the attached packet and staff feels the building is aesthetically pleasing and will blend well with the recent approvals along the Dayton-Xenia corridor such as the Panera Bread, Dunkin Donuts, Children's Medical Center and IH Credit Union.

Transportation Improvements and Parking

As noted on the proposed site plan, the applicant is proposing to have two access points to the site. The primary access point will connect with the Frisch's access drive at the Beaver Vu/North Fairfield Road traffic light. The access drive and easement will continue across the front of the property so that at a future date, should the property to the north be redeveloped, it will also have access to the Beaver-Vu traffic light. The second access point will be directly off North Fairfield road and will be a right-in/right out only.

For banks, the Zoning Code requires one off-street parking space for each 250 square feet of floor area, plus one space for each employee. Based on information provided by the applicant, the bank will have five employees on the largest shift, thus requiring 14 off street parking spaces. This proposal provides 19 off street parking spaces, including one handicap accessible space.

Screening, Landscaping and Open Space

The attached plans call for the use of shade trees, ornamental trees, evergreen trees, and various grasses and shrubs to add to the overall attractiveness of the site. The code requires at least 25% of the property be open space or pervious surface. This application shows that 54% of the property will remain as greenspace. As previously stated, a 25-foot tree preservation area and grading limit will be maintained at the rear of the property and a row of evergreen shrubs will be installed along length of the backside of the parking lot.

Stormwater Management

The applicant is proposing to construct a large stormwater detention (dry) pond on the western quadrant of the property, as shown on the preliminary stormwater detention plans. All stormwater detention calculations and detention plans shall be reviewed and approved by the Engineering Department prior to the release of a zoning permit for this site.

Lighting

All light poles will be required to be no taller than 16 feet due to the adjacency to a residential zoning district. A final photometric plan displaying zero foot-candles at the residential

property line will also be required prior to the release of a zoning permit and a condition of approval will also state that lighting be reduced to 25% at closing.

Signage

Projects located in B-2 districts are permitted a maximum of one ground sign, up to 25 square feet per sign face and will be required to have a base and wrap comprised of masonry materials that match the primary structure. Wall signage will be permitted to be 60 square feet per elevation and only permitted on the east and south elevations.

Utilities

Water and sewer will be available to the property.

Recommendation

Based on the analysis, staff is recommending approval of this request as outlined in the attached resolution.

RESOLUTION

CITY OF BEAVERCREEK
PLANNING COMMISSION
June 3, 2020

RE: PC 20-5 WesBanco ASRA

WHEREAS, Chris Humphrey, 4495 Mill Water Dr. Powell, OH 43065, Agent for the owner, has filed an application requesting approval of an ASRA Detailed Site Plan for the WesBanco bank to be located at 1243 North Fairfield Road; and

WHEREAS, public hearing was held on June 3, 2020 by the Beaver Creek Planning Commission at which time all people who wished to testify gave their comments at the public hearing; and

WHEREAS, the Planning Commission finds that the facts submitted with this ASRA Detailed Site Plan application and presented at the public hearing and any modifications, amendments, or supplementary conditions satisfy the standards and criteria for an ASRA Detailed Site Plan as per §158.083 of the Zoning Code; and

WHEREAS, the Beaver Creek Planning Commission is taking administrative action in approving this ASRA Detailed Site Plan.

NOW, THEREFORE BE IT RESOLVED that the Planning Commission recommends to the Beaver Creek City Council:

SECTION I

The Beaver Creek Planning Commission recommends to Beaver Creek City Council approval of this ASRA Detailed Site Plan for WesBanco Bank with the following conditions and requirements.

SECTION II

1. The approved plans for this development shall be the plans stamped "Received May 27, 2020", except as modified herein.
2. The approved building elevations shall be those plans stamped "Received May 27, 2020" except where modified herein.
3. A detailed landscape plan shall be reviewed and approved by the Planning Department prior to the execution of the required Development Agreement and the release of a zoning permit.

4. Prior to the issuance of a zoning permit, all structures including houses, accessory buildings, paved areas and the like shall be completely demolished and removed from the site. A demolition permit shall be required from the City and County prior to any demo work being performed.
5. All existing curb cuts and driveway aprons in front of North Fairfield Road shall be removed and replaced with new curb and gutter. This shall be shown on the final construction drawing, to be reviewed and approved by the Engineering Department prior to the release of a final subdivision.
6. Perpetual maintenance of landscaping shall be provided and any dead or diseased materials shall be removed and replaced with similar types, species and sizes as originally planted, within three months, weather permitting.
7. A Development Agreement must be signed by the owner and a bond or letter of credit for the required site landscaping must be submitted prior to issuance of a zoning permit for any portion of the project for the purpose, but not for the sole purpose, of insuring the installation of landscaping. Said bond or letter of credit must meet the requirements of the City's landscaping and screening regulations.
8. All trash collection containers shall be screened from view and enclosed within a permanent dumpster enclosure or completely kept within the building. Any dumpster enclosures shall be constructed of materials to match the building, and fitted with a closeable, lockable gate.
9. Debris and trash shall be routinely collected by the owner from the parking lot and grounds of all areas of the project including the storm drainage facilities. The City reserves the right to require more frequent collection as necessary.
10. Gutters, downspouts and roof access ladders shall not be visible on any elevation of the building. They shall be internally mounted. Thru-wall scuppers are permitted.
11. The façade shall not be painted or altered without the expressed approval of the Planning Department and/or Planning Commission.
12. All Signage shall comply with the Zoning Code for B-2 district with the exception of allowing one additional sign on the south elevation. The final location and size shall be reviewed and approved by the Planning Department prior to the issuance of any sign permits.
 - Raceways shall be prohibited.
 - No temporary signage shall be permitted.
 - The ground sign shall be constructed with a masonry base and wrap, to match the materials used to construct the building.

13. Prior to the issuance of a zoning permit, final cut sheet details and photometric plans for lighting of the site shall be reviewed and approved by the Planning Department.
 - Maximum mounting height for any parking fixture shall be 16 feet, and no pole shall be located in the paved area of the parking field.
 - Lights in the parking lot shall be reduced to no greater than 25 percent illumination level within one hour of closing.
14. All concerns of the City Engineer, Fire Department, Sanitary Engineer and the Planning Department shall be addressed and approved prior to the release of a zoning permit for the building.
15. A final subdivision must be approved by Planning Commission and recorded prior to the release of a zoning permit for the building. The final subdivision shall include a 25-foot wide public access and construction easement from the entry point to the northern property line.
16. All roof top or ground mounted mechanical units shall be completely screened from view from all directions with architectural features (roof forms or parapets) or landscaping.
17. No outdoor speakers shall be permitted with the exception of teller speakers within the drive-thru.
18. The construction hours for any exterior work shall be limited to 7am-7pm Monday through Saturday.
19. Orange fencing delineating the 25-foot tree preservation area and grading limit shall be installed prior to the removal of any vegetation or structures on the property.

SECTION III

These plans and all papers relating to the approved plan shall be submitted with this Resolution to City Council.

The Clerk is directed to transmit this case to City Council for further determination as required by law.

ADOPTED:

VOTING FOR ADOPTION:

VOTING AGAINST:

ABSENT:

Chairman

Attest:

<p>Stonewood: Madison Walnut</p> 	<p>Pre-finished metal panels to match PMS - 349</p> 	<p>E.I.F.S: to match stone</p> 	<p>Ariscraft : Ash - Stack Sawn</p> 	<p>Ariscraft: Adari - Limestone 8" base</p> 
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Beaver Creek
Exterior Finishes
05.27.2020



WESNEEY
CONSTRUCTION





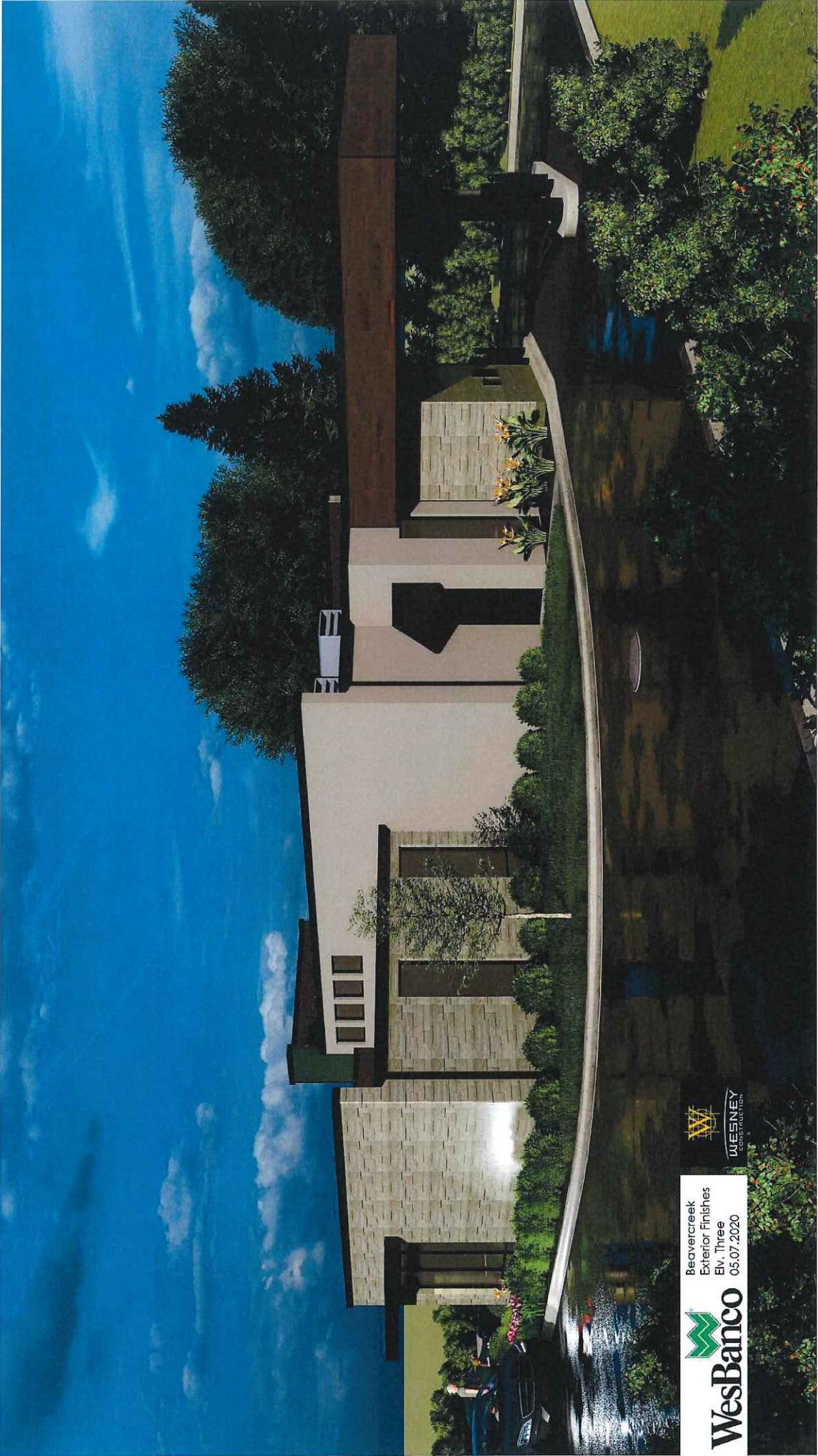
Beavercreek
Exterior Finishes
Ely, Ohio
05.07.2020





Beaver Creek
Exterior Finishes
Elev. Two
05.07.2020





Beavercreek
Exterior Finishes
Elev. Three
05.07.2020

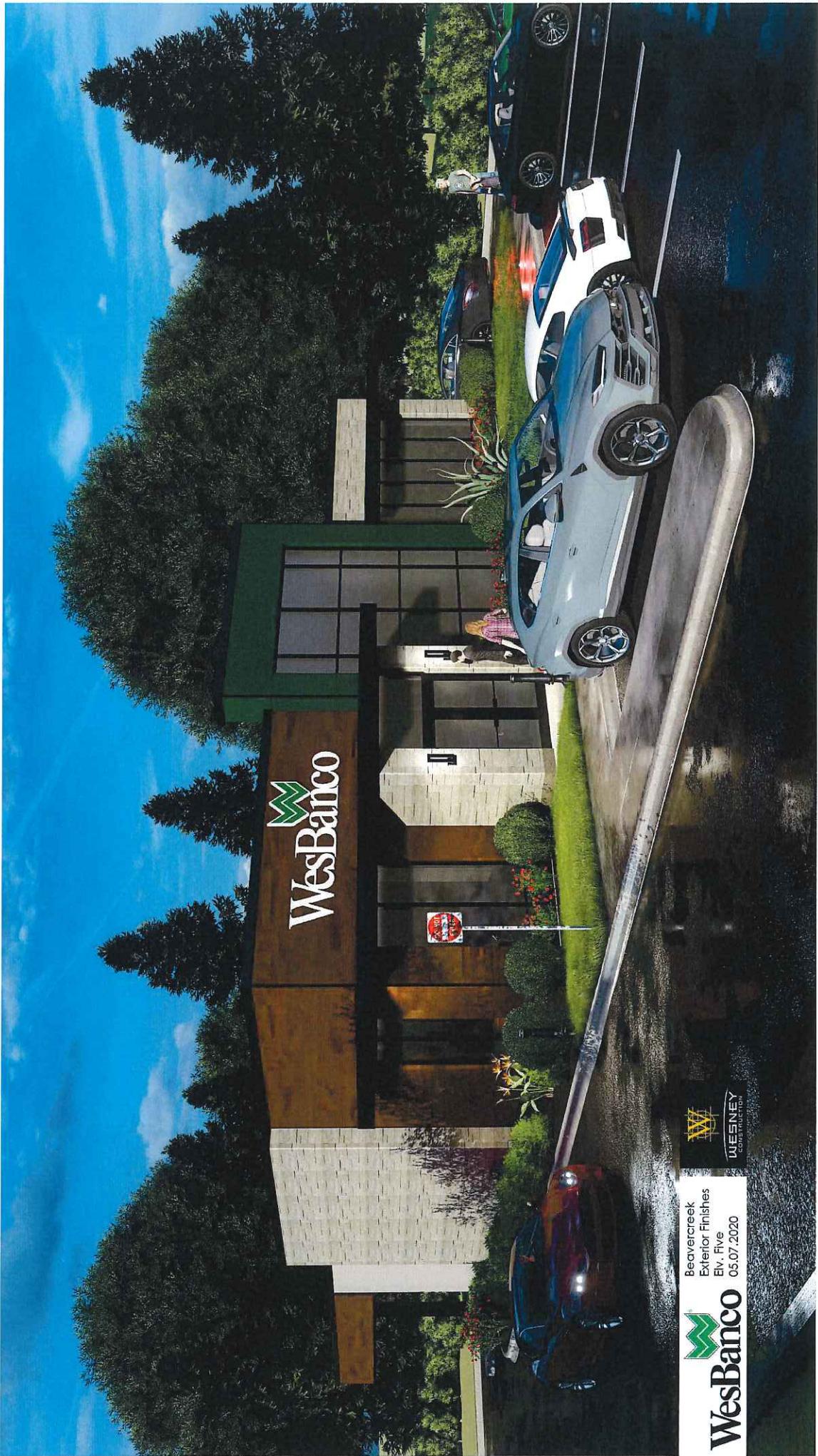


WesBanco
EXTERIOR FINISHES



Beavercreek
Exterior Finishes
Elev. Four
05.07.2020





WesBanco

Beavercreek
Exterior Finishes
Ely, Five
05.07.2020



WesBanco

NEW BRANCH OFFICE



**1243 N. FAIRFIELD ROAD
BEAVERCREEK OH 45432**

Sheet List Table	
Sheet Number	Sheet Title
C000	TITLE SHEET AND NOTES
C100	GENERAL DETAILS
C200	EXISTING CONDITIONS AND DEMOLITION PLAN
C300	LOCATION PLAN
C400	UTILITY PLAN
C401	DRAINAGE PROFILES
C500	GRADING AND EROSION CONTROL PLAN
C600	EROSION CONTROL NOTES
C601	EROSION CONTROL DETAILS
L100	LANDSCAPE PLAN
L101	LANDSCAPE DETAILS
L200	LANDSCAPE SPECIFICATIONS
L201	LANDSCAPE SPECIFICATIONS
L202	LANDSCAPE SPECIFICATIONS



**VICINITY MAP
NTS**

- NOTES FROM FIRE DEPARTMENT**
- ALL CONSTRUCTION SHALL CONFORM TO THE UNITED FIRE CODE, OHIO FIRE CODE (2000) AND THE NATIONAL FIRE PROTECTION ASSOCIATION (NFPA).
 - ACCESS TO THE SITE SHALL BE MAINTAINED THROUGHOUT ALL PHASES OF CONSTRUCTION.
 - PAVEMENT SHALL BE CAPABLE OF SUPPORTING A 60,000 LB. APPARATUS DURING FIRE DEPT. OPERATIONS.
 - THE STREET ADDRESS SHALL BE PLACED ON STRUCTURE SO AS TO ENSURE VISIBILITY FROM THE NEAREST FRONTING ROAD, AND IF THE STRUCTURE IS NOT VISIBLE FROM THE NEAREST FRONTING ROAD, THE NUMBERS SHALL BE IN STANDARD ARABIC FORM OF A SIZE AT LEAST 3 INCHES BY 2 INCHES, OR LARGER, IF NECESSARY, TO BE VISIBLE FROM THE NEAREST ROAD FRONTAGE, AND IN A COLOR DISTINGUISHABLE FROM ITS BACKGROUND.
 - ALL HYDRANTS SHALL BE FLUSHED AND TESTED PRIOR TO THE CONSTRUCTION OF THE FIRST UNIT.
 - LANDSCAPING SHALL NOT OBSTRUCT FIRE HYDRANT ACCESS.
 - CONTACT THE BEAVERCREEK FIRE DEPT. AND GREENE COUNTY BUILDING DEPT. FOR INSPECTIONS.
 - BEAVERCREEK FIRE DEPARTMENT: 937-426-1627
 - GREENE COUNTY BUILDING DEPARTMENT: 937-562-7420
 - BOLLARDS SHALL PROTECT GAS METERS LOCATED IN AREAS SUCH AS ALLEYS, DRIVEWAYS, OR PARKING LOTS THAT MAY BE DAMAGED BY VEHICLES. THE BOLLARDS SHALL MEET THE FOLLOWING REQUIREMENTS:
 - A. MINIMUM 4 INCH DIAMETER, SCHEDULE 40 THICKNESS STEEL OR ALUMINUM PIPE OR POST.
 - B. MAXIMUM SEPARATION OF 4 FEET ON-CENTER.
 - C. MINIMUM HEIGHT OF THREE FEET ABOVE GROUND, WITH A MINIMUM OF 2 FEET BELOW GROUND.
 - D. EACH POST POURED, SET AND FILLED WITH CONCRETE.
 IF BOLLARDS ARE PROVIDED, CONTACT THE FIRE PREVENTION BUREAU TO ARRANGE AN INSPECTION.



NOTE:
UNDERGROUND UTILITIES ARE PLOTTED FROM A COMPILATION OF AVAILABLE RECORD INFORMATION AND SURFACE INDICATIONS OF UNDERGROUND STRUCTURES AND MAY NOT BE INCLUSIVE. PRECISE LOCATIONS AND THE EXISTENCE OR NON EXISTENCE OF UNDERGROUND UTILITIES CANNOT BE VERIFIED. PLEASE NOTIFY THE OHIO UTILITY PROTECTION SERVICE AT 811 OR 1-800-392-2764 BEFORE ANY PERIOD OF EXCAVATION OR CONSTRUCTION ACTIVITY.

GENERAL NOTES

- THE CITY OF BEAVERCREEK, GREENE COUNTY, AND THE CURRENT EDITION OF THE STATE OF OHIO DEPARTMENT OF TRANSPORTATION CONSTRUCTION AND MATERIAL SPECIFICATIONS (ODOT CMS), INCLUDING ALL SUPPLEMENTS, SHALL GOVERN ALL MATERIALS AND WORKMANSHIP INVOLVED IN THE IMPROVEMENTS SHOWN ON THIS PLAN. IGNORE REFERENCES TO MEASUREMENT AND PAYMENT IN THE ODOT CMS UNLESS NOTED OTHERWISE. IN THE CASE OF CONFLICTS BETWEEN THE ODOT CMS AND THE CITY OF BEAVERCREEK, GREENE COUNTY REQUIREMENTS, THE CITY OF BEAVERCREEK, GREENE COUNTY REQUIREMENTS SHALL PREVAIL.
- THE CONTRACTOR IS RESPONSIBLE FOR THE INVESTIGATION, LOCATION, SUPPORT, PROTECTION, AND RESTORATION OF ALL EXISTING UTILITIES AND APPURTENANCES WHETHER SHOWN ON THESE PLANS OR NOT. THE CONTRACTOR SHALL EXPOSE ALL UTILITIES OR STRUCTURES PRIOR TO CONSTRUCTION TO VERIFY THE VERTICAL AND HORIZONTAL EFFECT ON THE PROPOSED CONSTRUCTION. THE CONTRACTOR SHALL CALL, TOLL FREE, THE OHIO UTILITIES PROTECTION SERVICE (1-800-392-2764) 48 HOURS PRIOR TO CONSTRUCTION AND SHALL NOTIFY ALL UTILITY COMPANIES WHO ARE NON-MEMBERS OF THE OHIO UTILITIES PROTECTION SERVICE AT LEAST 48 HOURS PRIOR TO WORK IN THE VICINITY OF THEIR UNDERGROUND LINES.
- CONTRACTOR SHALL OBTAIN A PERMIT FOR ALL CONSTRUCTION ACTIVITIES IN ACCORDANCE WITH LOCAL, STATE, & FEDERAL REGULATIONS.
- THE CONTRACTOR IS TO PERFORM ALL INSPECTIONS AS REQUIRED BY THE OHIO EPA FOR THE NATIONAL POLLUTANT DISCHARGE ELIMINATION SYSTEM (NPDES) PERMIT AND FURNISH OWNERS REPRESENTATIVE WITH WRITTEN REPORTS.
- THE CONTRACTOR IS REQUIRED TO VISIT THE SITE AND FULLY INFORM HIMSELF CONCERNING ALL CONDITIONS AFFECTING THE SCOPE OF THE WORK. FAILURE TO VISIT THE SITE SHALL NOT RELIEVE HIM FROM ANY RESPONSIBILITY IN THE PERFORMANCE OF THE CONTRACT.
- NO ADDITIONAL COMPENSATION SHALL BE ALLOWED FOR EXPENSES INCURRED DUE TO SOIL CONDITIONS, GROUNDWATER, AND/OR ROCK EXCAVATION. ALL OF THESE ITEMS SHALL BE INCLUDED IN THE PRICE BID FOR THE PROJECT.
- THE COST OF ALL DEWATERING REQUIRED FOR THE CONSTRUCTION OF THIS PROJECT SHALL BE INCLUDED IN THE PRICE BID FOR THE PROJECT.
- THE DIRECT OR INDIRECT DISCHARGE OR PUMPING OF UNFILTERED SEDIMENT-LOADED WATER INTO THE STORM DRAINAGE SYSTEM OR WATERCOURSE IS ILLEGAL AND PROHIBITED.
- ANY WELL, WELL POINT, PIT, OR OTHER DEVICE INSTALLED FOR THE PURPOSE OF LOWERING THE GROUND WATER TO FACILITATE CONSTRUCTION OF THIS PROJECT SHALL BE PROPERLY ABANDONED IN ACCORDANCE WITH THE PROVISIONS OF SECTION 3745-910 OF THE OHIO ADMINISTRATIVE CODE OR IN ACCORDANCE WITH THE PROVISIONS OF THIS PLAN AS DIRECTED BY THE DIRECTOR OF PUBLIC UTILITIES OR HIS REPRESENTATIVE.
- ANY CONTRACTOR INSTALLING ANY WELL, WELL POINT, PIT, OR OTHER DEVICE USED FOR THE PURPOSE OF REMOVING GROUND WATER FROM AN AQUIFER SHALL COMPLETE AND FILE A WELL LOG AND DRILLING REPORT FORM WITH THE OHIO DEPARTMENT OF NATURAL RESOURCES (ODNR), DIVISION OF WATER, WITHIN 30 DAYS OF THE WELL COMPLETION IN ACCORDANCE WITH THE OHIO REVISED CODE SECTION 1521.01 AND 1521.09. IN ADDITION, ANY SUCH FACILITY IS COMPLETED IN ACCORDANCE WITH SECTION 1521.10 OF THE OHIO REVISED CODE. FOR COPIES OF THE NECESSARY WELL LOG, DRILLING REPORT, OR REGISTRATION FORMS, PLEASE CONTACT: DIVISION OF WATER, OHIO DEPARTMENT OF NATURAL RESOURCES, FOUNTAIN SQUARE, COLUMBUS, OHIO 43224, (614)8655717.
- THE CONTRACTOR SHALL BE SOLELY RESPONSIBLE TO THE ODNR FOR THE REGISTRY, MAINTENANCE AND ABANDONMENT OF ANY WITHDRAWAL DEVICE USED IN CONSTRUCTION OF THIS PROJECT.
- ALL DIMENSIONS ARE TO THE EDGE OF PAVEMENT AND/OR FACE OF CURB, UNLESS OTHERWISE NOTED.
- ALL SITE SIGNAGE, STRIPING COLOR AND WIDTH SHALL BE PER THE OHIO MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES.
- ALL EXISTING PAVEMENTS, WALKS, CURBS, ETC. SHALL BE SAWCUT BEFORE REMOVAL. IF, DURING CONSTRUCTION, THE PAVEMENT, WALKWAY, CURB, ETC. IS DAMAGED BEYOND THE ORIGINAL SAWCUT, THE DAMAGED AREA SHALL BE RE-CUT TO NEAT LINES AS DIRECTED BY THE ENGINEER. PAYMENT FOR SAWCUTTING SHALL BE INCLUDED IN THE PRICE BID FOR THE PROJECT.
- THE CONTRACTOR SHALL SAWCUT EXISTING PAVEMENT TO PROVIDE A SMOOTH VERTICAL FULL DEPTH BUTT JOINT BETWEEN THE EXISTING PAVEMENT OR CURB AND THE PROPOSED PAVEMENT. CONTRACTOR SHALL LOCATE SOUND PAVEMENT EDGE AND CUT AND TRIM PAVEMENT TO A NEAT LINE, INCLUDE THE COST OF PAVEMENT REMOVAL AND DISPOSAL IN THE PRICE BID FOR THE PROJECT.

GRADING NOTES

- CONTRACTOR TO REMOVE TREES AND CLEAR AREAS AS NECESSARY TO PERFORM ALL SITE WORK INCLUDING GRADING AND UTILITY WORK.
- PROTECTION OF EXISTING TREES AND VEGETATION: PROTECT EXISTING TREES AND OTHER VEGETATION INDICATED TO REMAIN IN PLACE AGAINST UNNECESSARY CUTTING, BREAKING OR SKINNING OF ROOTS, SKINNING OR BRUISING OF BARK, SMOTHERING OF TREES BY STOCKPILING CONSTRUCTION MATERIALS WITHIN DRIP LINE, EXCESS FOOT OR VEHICULAR TRAFFIC, OR PARKING OF VEHICLES WITHIN DRIP LINE. PROVIDE TEMPORARY GUARDS TO PROTECT TREES AND VEGETATION TO BE LEFT STANDING.
- ALL ELEVATIONS SHOWN ARE FINISHED GRADE ELEVATIONS.
- SITE BUILDING PAD EXCAVATION AND CONSTRUCTION TO BE PER GEOTECHNICAL ENGINEER'S RECOMMENDATIONS. BUILDING PAD PREPARATION SHALL BEGIN BY CLEARING & STRIPPING UNSUITABLE MATERIAL FROM PAD SITE, THEN PLACE & COMPACT BACKFILL MATERIAL AT GEOTECHNICAL ENGINEER'S AND ARCHITECTS RECOMMENDATIONS. ALL BACKFILL MATERIAL MUST BE ACCEPTABLE TO THE GEOTECHNICAL ENGINEER.
- ALL FILL UNDER PAVEMENT SHALL BE COMPACTED TO THE GEOTECHNICAL ENGINEER'S RECOMMENDATIONS.
- THE CONTRACTOR IS RESPONSIBLE FOR BALANCING THE SITE EARTHWORK ON SITE. THE CONTRACTOR IS RESPONSIBLE FOR BURY/BORROW PITS AS NEEDED TO BALANCE THE SITE. GEOTECH AND ENGINEER MUST APPROVE AREAS PRIOR TO BURY/BORROW OPERATIONS. AS-BUILT OF BURY/BORROW PIT WILL BE REQUIRED AT COMPLETION OF CONTRACTOR WORK AND MUST BE SUBMITTED TO THE CONSTRUCTION MANAGER.
- CONTRACTOR SHALL IMPLEMENT ALL SOIL AND EROSION CONTROL PRACTICES REQUIRED BY CITY OF BEAVERCREEK, GREENE COUNTY AND THE OHIO EPA.
- ALL GROUND SURFACE AREAS THAT HAVE BEEN EXPOSED OR LEFT BARE AS A RESULT OF CONSTRUCTION AND ARE TO FINAL GRADE AND ARE TO REMAIN SO, SHALL BE SEEDED AND MULCHED AS SOON AS PRACTICAL IN ACCORDANCE WITH THE PROJECT SPECIFICATIONS. IF NO SPECIFICATIONS ARE SUPPLIED, USE ODOT ITEM 659.
- CONTRACTOR TO LAYOUT BUILDING BASED ON ARCHITECTURAL FOUNDATION PLANS. SITE PLAN IS FOR CONCEPTUAL PURPOSES ONLY.

UTILITY NOTES

- ALL DRAIN TILE AND STORM SEWERS DAMAGED, DISTURBED OR REMOVED AS A RESULT OF THE CONTRACTOR'S OPERATIONS SHALL BE REPLACED WITH THE SAME QUALITY PIPE OR BETTER, MAINTAINING THE SAME GRADIENT AS EXISTING. THE DRAIN TILE AND/OR STORM SEWER SHALL BE CONNECTED TO THE CURB SUBDRAIN, STORM SEWER SYSTEM OR OUTLETTED INTO THE ROADWAY DITCH AS APPLICABLE. REPLACED DRAIN TILE/STORM SEWER SHALL BE LAID ON COMPACTED BEDDING EQUAL IN DENSITY TO SURROUNDING STRATUM. REPLACEMENT SHALL BE DONE AT THE TIME OF THE BACKFILL OPERATION. COST OF THIS WORK TO BE INCLUDED IN THE PRICE BID FOR THE PROJECT.
- ALL EXISTING UTILITIES KNOWN TO EXIST HAVE BEEN SHOWN ON THESE PLANS IN THEIR APPROXIMATE LOCATION. PRIOR TO THE BEGINNING OF CONSTRUCTION OR EARTH MOVING OPERATIONS, THE CONTRACTOR SHALL VERIFY THE LOCATION AND ELEVATION OF THE UTILITIES SHOWN. THE CONTRACTOR IS ALSO RESPONSIBLE FOR THE PROTECTION AND/OR RELOCATION OF ANY UTILITIES THAT MAY EXIST AND ARE NOT SHOWN.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATING THE RELOCATION AND/OR PROTECTION OF ANY UTILITIES AS REQUIRED BY THE PLAN WITH THE OWNER OF THE AFFECTED UTILITY.
- UTILITY POLES WITHIN INFLUENCE OF THE UTILITY OPERATIONS SHALL BE REINFORCED BY THE UTILITY COMPANY PRIOR TO THESE CONSTRUCTION ACTIVITIES. NOTIFICATION OF THE UTILITY COMPANY PRIOR TO CONSTRUCTION SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR.
- COMPACTED FILLS ARE TO BE MADE TO A MINIMUM OF THREE FEET ABOVE THE CROWN OF ANY PROPOSED SEWER PRIOR TO CUTTING OF TRENCHES FOR PLACEMENT OF SAID SEWERS. ALL FILLS SHALL BE CONTROLLED, COMPACTED, AND INSPECTED BY AN APPROVED TESTING LABORATORY OR AN INSPECTOR FROM THE APPROPRIATE GOVERNMENTAL AGENCY.
- CONTRACTOR TO REPLACE ANY PAVEMENT OR UTILITIES DAMAGED WHICH ARE NOT SPECIFIED TO BE REMOVED ON THESE PLANS.
- ALL CATCH BASINS PLACED WITHIN THE PAVEMENT SHALL HAVE HEAVY DUTY FRAMES AND GRATES AND CONFORM TO ADA REQUIREMENTS.
- ADJUST ALL EXISTING CASTINGS AND CLEANOUTS WITHIN PROJECT AREA TO GRADE AS REQUIRED.
- ALL CATCH BASINS WITH DEPTH GREATER THAN 4.5' SHALL BE PROVIDED WITH STEPS. STEPS SHALL MEET THE REQUIREMENTS OF ODOT ITEM 611.
- ALL STORM AND SANITARY SEWER MANHOLES WITH A DEPTH GREATER THAN 4' SHALL BE PROVIDED WITH STEPS. STEPS SHALL MEET THE REQUIREMENTS OF ODOT ITEM 611.
- DISTANCES SHOWN FOR BOTH SANITARY AND STORM SEWER PIPES ARE MEASURED FROM CENTER OF STRUCTURE. THE CONTRACTOR IS RESPONSIBLE FOR ACTUAL FIELD CUT LENGTH. COORDINATES FOR STORM AND SANITARY STRUCTURES ARE SHOWN TO THE CENTER OF STRUCTURE, UNLESS OTHERWISE NOTED.
- IMMEDIATELY AFTER PLACEMENT OF ANY CONDUITS, THE CONTRACTOR SHALL CONSTRUCT THE END TREATMENTS REQUIRED BY THE PLANS AT BOTH THE OUTLET AND INLET ENDS. THIS SHALL INCLUDE HEADWALLS, CONCRETE, RIP RAP, ROCK CHANNEL PROTECTION, SOGGING, POLING BOTTOMS, MUDGING LIFT HOLES, ETC.
- ALL PROPOSED STORM SEWERS, SURFACE OR OTHER DRAINAGE FACILITIES ARE TO BE PRIVATE AND MAINTAINED BY THE OWNER. EROSION CONTROL MEASURES MUST PROVIDE PROTECTION UNTIL COMPLETION OF THE PROJECT AND VEGETATIVE STABILIZATION.
- THE CONTRACTOR IS TO CONSTRUCT CURBS, CATCH BASINS, DOWNSPOUTS, PIPING AND CONNECTIONS ETC. AS REQUIRED TO CONVEY THE ROOF AND PAVED SURFACE DRAINAGE TO THE DETENTION BASIN.
- ROOF DRAINS, FOUNDATION DRAINS AND ALL OTHER CLEAR WATER CONNECTIONS TO THE SANITARY SEWER SYSTEMS ARE PROHIBITED.
- SITE CONTRACTOR SHALL PICK UP ALL UTILITIES, WITH THE EXCEPTION OF DOWNSPOUTS, 5' OUTSIDE BUILDING WALL. COORDINATE WITH CONSTRUCTION MANAGER.
- ALL STORM STRUCTURES ARE ODOT TYPES UNLESS OTHERWISE INDICATED.
- STORM SEWER PIPE LABELED "STM" SHALL BE ONE OF THE FOLLOWING: PVC SDR-26 PER ODOT ITEM 707.45, PVC PROFILE PIPE PER ODOT ITEM 707.43, HIGH DENSITY POLYETHYLENE PER ODOT ITEM 707.33, ALUMINIZED CORRUGATED METAL, ODOT ITEM 707.01, 707.02, OR REINFORCED CONCRETE PIPE, ODOT ITEM 708.02 CLASS IV. STORM SEWER PIPE LABELED "RCP" SHALL BE REINFORCED CONCRETE PIPE, ODOT ITEM 708.02 CLASS IV. ALL STORM IS TO BE INSTALLED PER ODOT ITEM 611. ALL STORM PIPE USED MUST HAVE A MANUFACTURER SPECIFIED FRICTION FACTOR OF 0.013 (R=0.13) OR LESS.
- ALL CATCH BASINS IN THE PAVEMENT ARE TO HAVE 4, 4" PERFORATED UNDERDRAINS EXTENDING 10' F FROM THE CATCH BASIN IN THE UPHILL DIRECTION AND CAPPED. ALL CATCH BASINS IN THE CURB ARE TO HAVE 2, 4" PERFORATED UNDERDRAINS EXTENDING 10' F FROM THE CATCH BASIN IN THE UPHILL DIRECTION AND CAPPED.
- FOR EXACT LOCATION OF DOWN SPOUTS & ROOF DRAINS, COORDINATE WITH CONSTRUCTION MANAGER. ALL ROOF DRAINS ARE TO BE 8" UNLESS OTHERWISE NOTED.
- ALL YARD DRAINS SHALL BE ONE OF THE FOLLOWING: NYLOPLAST-ADS DRAIN BASIN, HDG DURACAST FABRICATED PVC CATCH BASIN, AGRI-DRAIN CATCH BASIN, OR APPROVED EQUAL.
- ALL EXISTING INVERTS ALONG PROPOSED PIPE ALIGNMENTS SHALL BE VERIFIED BY THE CONTRACTOR PRIOR TO CONSTRUCTION OF THE SEWER.
- ANY FIELD TILE CUT IN EXCAVATION WHICH DRAINS IN AN OFFSITE AREA MUST BE TIED INTO THE STORM DRAINAGE SYSTEM.
- THE FLOW IN ALL SEWERS, DRAINS, FIELD TILES AND WATERCOURSES ENCOUNTERED SHALL BE MAINTAINED BY THE CONTRACTOR AT HIS OWN EXPENSE, AND WHENEVER SUCH WATERCOURSES AND DRAINS ARE DISTURBED OR DESTROYED DURING THE PROSECUTION OF THE WORK, THEY SHALL BE RESTORED BY THE CONTRACTOR AT HIS OWN EXPENSE TO A CONDITION SATISFACTORY TO THE ENGINEER.
- SANITARY SEWER SHALL BE SDR-25 OR APPROVED EQUAL AND CONFORM TO THE STANDARDS AND SPECIFICATIONS OF THE CITY OF BEAVERCREEK, GREENE COUNTY. PIPE MUST MEET MINIMUM SLOPE REQUIREMENTS OF THE CITY OF BEAVERCREEK, GREENE COUNTY AND OHIO EPA. SANITARY SEWER SHALL BE INSTALLED AT A MINIMUM DEPTH OF FOUR FEET (4') UNLESS OTHERWISE NOTED. A MINIMUM OF 10' CLEARANCE SHALL BE MAINTAINED AT ALL WATERLINE CROSSINGS. SANITARY SERVICE JOINTS SHALL CONFORM TO ASTM D-3212.
- SANITARY SEWER IS TO BE BEDDED WITH CLEAN GRANULAR MATERIAL-AGGREGATES NOT TO BE LARGER THAN 3/4" AND NOT SMALLER THAN NO. 8 SIEVE, FREE OF SILT AND FINES, AASHTO M43 SIZE #67, 7 OR 8. BEDDING TO BE MINIMUM OF 6" BELOW & 12" ABOVE THE PIPE.
- ALL WATERLINE CROSSINGS SHALL MAINTAIN A VERTICAL SEPARATION OF 18" MINIMUM. SANITARY SEWER SHALL BE LOCATED A MINIMUM OF 18" BELOW WATERLINE AT ALL CROSSINGS. WATERLINE SHALL BE TAKEN A MINIMUM OF 10' HORIZONTALLY FROM ANY SANITARY SEWER. ALL MEASUREMENTS SHALL BE TAKEN FROM OUTSIDE OF SEWER PIPE TO THE OUTSIDE OF WATERLINE PIPE. ONE FULL LENGTH OF WATERLINE PIPE SHALL BE LOCATED AT ALL CROSSINGS TO ENABLE BOTH JOINTS TO BE LOCATED AS FAR FROM SEWER AS POSSIBLE. ALL WATER SHALL HAVE A MINIMUM OF 4" OF COVER.
- WATERLINE SHALL BE DUCTILE IRON PIPE CLASS 53, AND CONFORM TO ANSI A-21.61 (AWW C-151). DOMESTIC WATER SERVICES SHALL BE 4" COPPER, UNLESS OTHERWISE NOTED.



THE KLEINGERS GROUP
CIVIL ENGINEERING SURVEYING LANDSCAPE ARCHITECTURE
www.kleingers.com
5219 Centre Park Dr, West Chester, OH 45389
610.778.7581

WESNEY CONSTRUCTION
791 Science Blvd., Gahanna OH 43230
614/751-5710

SEAL

NO.	DATE	DESCRIPTION
1	05/05/2020	ASRA SUBMITTAL
2	05/26/2020	CITY COMMENTS

NEW BRANCH OFFICE
WesBanco
1243 N. FAIRFIELD ROAD
BEAVERCREEK OH 45432

PROJECT NO:	200308.000
DATE:	05/05/2020
SCALE:	
SHEET NAME:	

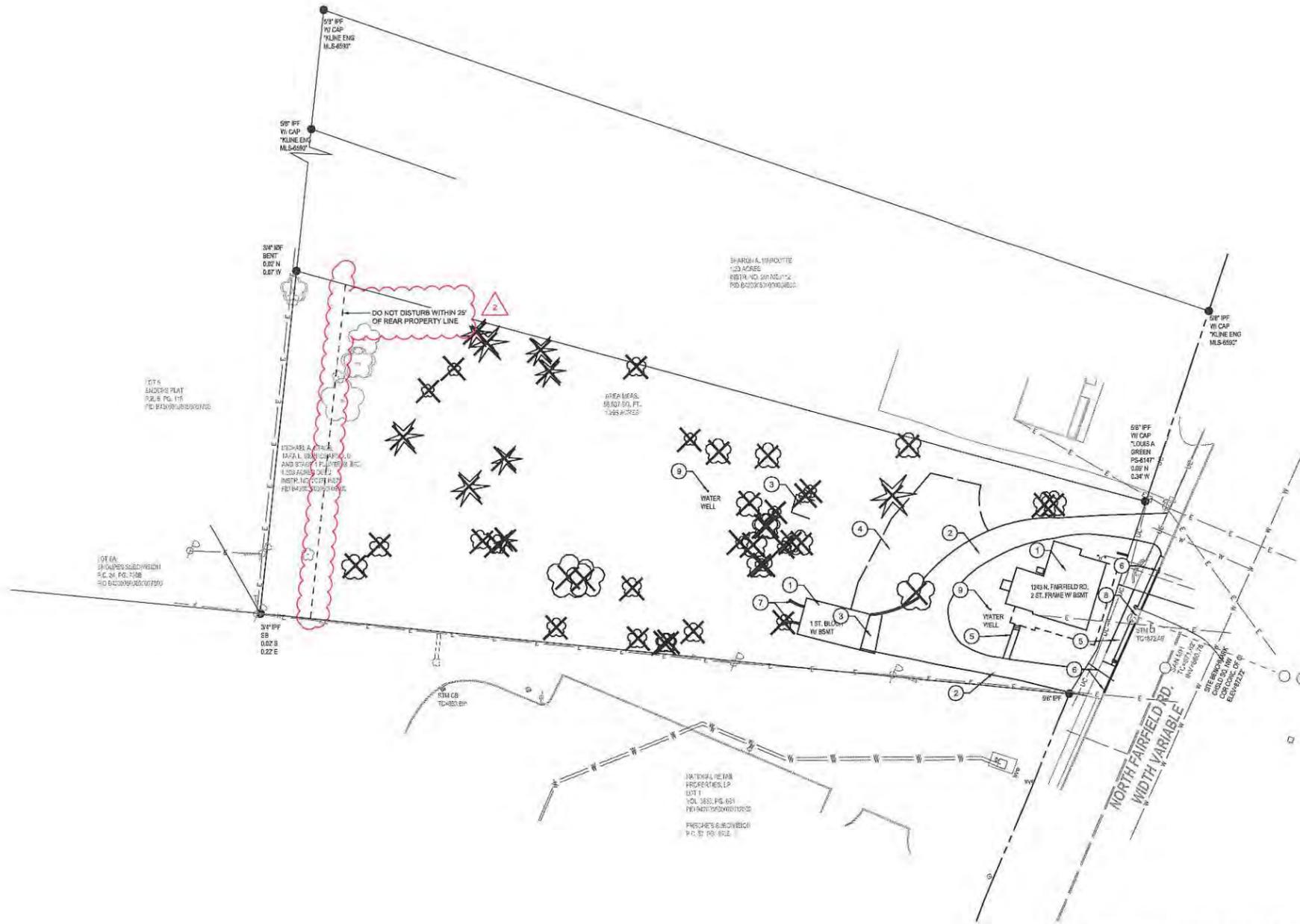
TITLE SHEET AND NOTES
SHEET NO. **C000**

RECEIVED
MAY 27 2020
CITY OF BEAVERCREEK
PLANNING DEPARTMENT

15120200308.000_Civil_Schematic(20200505)02.dwg, 5/27/2020 11:27:04 AM, dms



NOTE:
 UNDERGROUND UTILITIES ARE PLOTTED FROM A
 COMPILATION OF AVAILABLE RECORD INFORMATION AND
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 PROTECTION SERVICE AT 811 OR 1-800-362-2764 BEFORE ANY
 PERIOD OF EXCAVATION OR CONSTRUCTION ACTIVITY.



LEGAL DESCRIPTION: SITUATED IN THE STATE OF OHIO, COUNTY OF GREENE, AND CITY OF BEAVERCREEK,
 AND BEING A PART OF SECTION 32, TOWNSHIP 3, RANGE 7, MAMM RIVER SURVEY, AND BEING ALL OF A 1.303
 ACRE TRACT AS DESCRIBED IN A DEED TO MICHAEL A. STAGE, TARA L. GERDES-ARNOLD, AND STAGE 1
 PLUMBING, INC. IN INSTR. NO. 2017019576, GREENE COUNTY RECORDERS OFFICE.

- CODED NOTES**
- ① REMOVE EXISTING STRUCTURE AND ASSOCIATED FEATURES
 - ② REMOVE EXISTING ASPHALT PAVEMENT
 - ③ REMOVE EXISTING CONCRETE PAVEMENT
 - ④ REMOVE EXISTING GRAVEL
 - ⑤ REMOVE EXISTING SIDEWALK
 - ⑥ RESHAPE EXISTING CURBS TO PER CITY DETAIL
 - ⑦ REMOVE EXISTING WALL
 - ⑧ MODIFY EXISTING CURB INLET - SEE C400 FOR DETAILS
 - ⑨ REMOVE EXISTING WATER WELL



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 CIVIL ENGINEERING SURVEYING LANDSCAPE ARCHITECTURE
 www.kleingers.com
 6219 Centre Park Dr.
 West Chester, OH 45099
 610.778.7851

WESNEY CONSTRUCTION
 791 Science Blvd., Gahanna OH 43230
 614/751-5710



NO.	DATE	DESCRIPTION
1	05/05/2020	ASRA SUBMITTAL
2	05/26/2020	CITY COMMENTS

NEW BRANCH OFFICE
WesBarco
 1245 N. FAIRFIELD ROAD
 BEAVERCREEK OH 45432

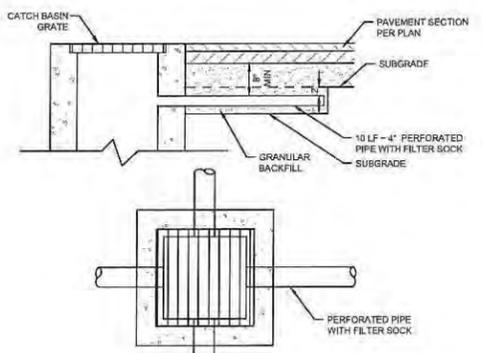
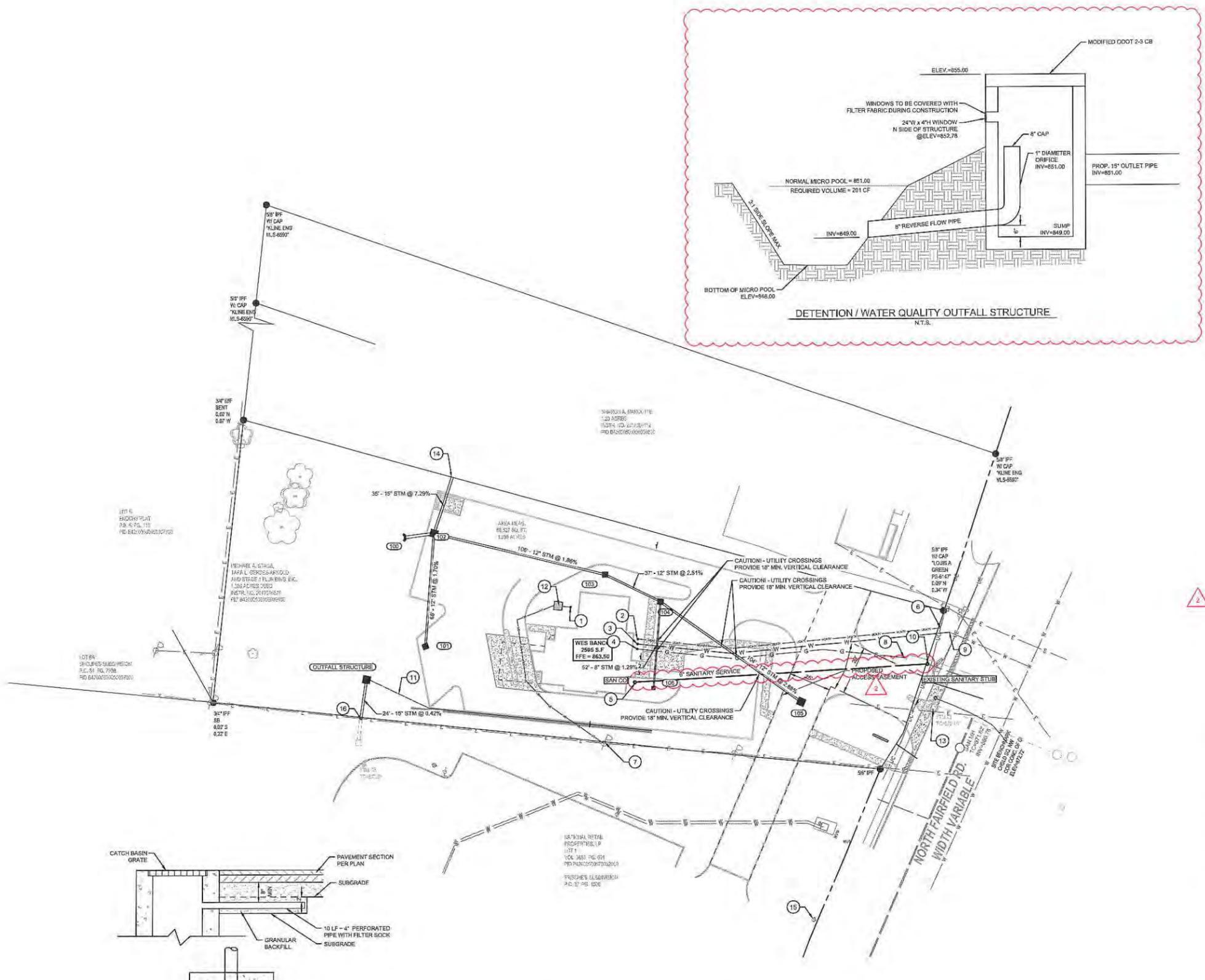
PROJECT NO: 200308.000
 DATE: 05/05/2020
 SCALE:

SHEET NAME:
EXISTING CONDITIONS AND DEMOLITION PLAN
 SHEET NO.
C200





NOTE:
UNDERGROUND UTILITIES ARE PLOTTED FROM A COMPILATION OF AVAILABLE RECORD INFORMATION AND SURFACE INDICATIONS OF UNDERGROUND STRUCTURES AND MAY NOT BE INCLUSIVE. PRECISE LOCATIONS AND THE EXISTENCE OR NON-EXISTENCE OF UNDERGROUND UTILITIES CANNOT BE VERIFIED. PLEASE NOTIFY THE OHIO UTILITY PROTECTION SERVICE AT 811 OR 1-800-362-2764 BEFORE ANY PERIOD OF EXCAVATION OR CONSTRUCTION ACTIVITY.



FINGER DRAIN DETAIL
N.T.S.

100 N 632596.46 E 1530076.51 ODOT CB NO. 2-2C INV = 855.00 (18\"/> <td>101 N 632530.12 E 1530068.88 ODOT CB NO. 2-2C GRATE=859.50 INV OUT=856.25 (12\"/> <td>102 N 632597.59 E 1530068.88 ODOT CB NO. 2-3 GRATE=859.30 INV IN=855.10 (12\"/> <td>103 N 632672.69 E 1530166.38 ODOT CB NO. 2-2B GRATE=861.17 INV IN=857.07 (12\"/> <td>104 N 632656.38 E 1530229.75 ODOT CB NO. 2-2C GRATE=862.00 INV IN=858.01 (12\"/> <td>105 N 632496.50 E 1530214.49 ODOT CB NO. 2-3 GRATE=866.44 INV OUT=861.00 (12\"/> <td>106 N 632504.66 E 1530225.52 YARD DRAIN SOLA GRATE=862.50 INV OUT=859.00 (8\"/> </td></td></td></td></td></td>	101 N 632530.12 E 1530068.88 ODOT CB NO. 2-2C GRATE=859.50 INV OUT=856.25 (12\"/> <td>102 N 632597.59 E 1530068.88 ODOT CB NO. 2-3 GRATE=859.30 INV IN=855.10 (12\"/> <td>103 N 632672.69 E 1530166.38 ODOT CB NO. 2-2B GRATE=861.17 INV IN=857.07 (12\"/> <td>104 N 632656.38 E 1530229.75 ODOT CB NO. 2-2C GRATE=862.00 INV IN=858.01 (12\"/> <td>105 N 632496.50 E 1530214.49 ODOT CB NO. 2-3 GRATE=866.44 INV OUT=861.00 (12\"/> <td>106 N 632504.66 E 1530225.52 YARD DRAIN SOLA GRATE=862.50 INV OUT=859.00 (8\"/> </td></td></td></td></td>	102 N 632597.59 E 1530068.88 ODOT CB NO. 2-3 GRATE=859.30 INV IN=855.10 (12\"/> <td>103 N 632672.69 E 1530166.38 ODOT CB NO. 2-2B GRATE=861.17 INV IN=857.07 (12\"/> <td>104 N 632656.38 E 1530229.75 ODOT CB NO. 2-2C GRATE=862.00 INV IN=858.01 (12\"/> <td>105 N 632496.50 E 1530214.49 ODOT CB NO. 2-3 GRATE=866.44 INV OUT=861.00 (12\"/> <td>106 N 632504.66 E 1530225.52 YARD DRAIN SOLA GRATE=862.50 INV OUT=859.00 (8\"/> </td></td></td></td>	103 N 632672.69 E 1530166.38 ODOT CB NO. 2-2B GRATE=861.17 INV IN=857.07 (12\"/> <td>104 N 632656.38 E 1530229.75 ODOT CB NO. 2-2C GRATE=862.00 INV IN=858.01 (12\"/> <td>105 N 632496.50 E 1530214.49 ODOT CB NO. 2-3 GRATE=866.44 INV OUT=861.00 (12\"/> <td>106 N 632504.66 E 1530225.52 YARD DRAIN SOLA GRATE=862.50 INV OUT=859.00 (8\"/> </td></td></td>	104 N 632656.38 E 1530229.75 ODOT CB NO. 2-2C GRATE=862.00 INV IN=858.01 (12\"/> <td>105 N 632496.50 E 1530214.49 ODOT CB NO. 2-3 GRATE=866.44 INV OUT=861.00 (12\"/> <td>106 N 632504.66 E 1530225.52 YARD DRAIN SOLA GRATE=862.50 INV OUT=859.00 (8\"/> </td></td>	105 N 632496.50 E 1530214.49 ODOT CB NO. 2-3 GRATE=866.44 INV OUT=861.00 (12\"/> <td>106 N 632504.66 E 1530225.52 YARD DRAIN SOLA GRATE=862.50 INV OUT=859.00 (8\"/> </td>	106 N 632504.66 E 1530225.52 YARD DRAIN SOLA GRATE=862.50 INV OUT=859.00 (8\"/>
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- PROPOSED LEGEND**
- STM STORM SEWER PIPE
 - 100 CATCH BASIN
 - 100 HEADWALL
 - 100 STORM SEWER CLEANOUT
 - DS DOWNSPOUT
 - SAN SANITARY SEWER PIPE
 - CS SANITARY SEWER CLEANOUT
 - WAT WATERLINE
 - FH FIRE HYDRANT
 - WV WATER VALVE
 - PV POST INDICATOR VALVE
 - FD FIRE DEPARTMENT CONNECTION
 - G GAS LINE
 - UNDERGROUND ELECTRIC
 - UNDERGROUND FIBER/CABLE/TELEPHONE

- CODED NOTES**
- 1 ELECTRIC SERVICE TIE-IN POINT - REFER TO MEP PLANS FOR DETAILS
 - 2 FIBER/CABLE/TELEPHONE SERVICE TIE-IN POINT - REFER TO MEP PLANS FOR DETAILS
 - 3 WATER SERVICE TIE-IN POINT - REFER TO MEP PLANS FOR DETAILS (± DOMESTIC METER TO BE USED)
 - 4 GAS SERVICE TIE-IN POINT - REFER TO MEP PLANS FOR DETAILS
 - 5 SANITARY SERVICE TIE-IN POINT - REFER TO MEP PLANS FOR DETAILS
 - 6 TAP INTO EXISTING FIBER/CABLE/TELEPHONE RUNNING WITHIN ROW. CONTRACTOR TO COORDINATE WITH PROVIDER PRIOR TO CONSTRUCTION
 - 7 TIE INTO EXISTING ELECTRIC RUNNING AT UTILITY POLE. CONTRACTOR TO COORDINATE WITH PROVIDER PRIOR TO CONSTRUCTION
 - 8 TAP INTO EXISTING GAS SERVICE. CONTRACTOR TO COORDINATE WITH PROVIDER PRIOR TO CONSTRUCTION. EXISTING METER SHOWN AS TIE IN POINT - CONTRACTOR TO CONFIRM THIS IS ACCEPTABLE WITH PROVIDER AND OWNER.
 - 9 CONNECT WATER SERVICE TO EXISTING. CONTRACTOR TO COORDINATE WITH PROVIDER PRIOR TO CONSTRUCTION. WATER SERVICE MAY NEED CONSTRUCTED TO WATER MAIN IN NORTH FAIRFIELD ROAD
 - 10 COORDINATE TO VERIFY LOCATION AND DEPTH OF EXISTING STUB AND REPORT ANY DISCREPANCIES TO ENGINEER. SANITARY SERVICE MAY NEED CONSTRUCTED TO SANITARY MAIN IN NORTH FAIRFIELD ROAD
 - 11 DRAINAGE FROM RETAINING WALL TO OUTLET TO OUTFALL STRUCTURE
 - 12 TRANSFORMER PAD
 - 13 NEW CATCH BASIN TO BE PROVIDED WITH MODIFIED TOP WITHIN ISLAND
 - 14 STM PIPE TO BE EXTENDED TO PROPERTY LINE AND CAPPED FOR USE BY FUTURE DEVELOPMENTS TO THE NORTH OF THIS PROPERTY
 - 15 NEAREST FIRE HYDRANT LOCATED WITHIN 200' OF PROPOSED WesBanco BUILDING
 - 16 STORM TO OUTLET TO STUB PROVIDED AT THE SOUTH. EXISTING STUB LOCATION AND INVERT TO BE VERIFIED BY CONTRACTOR.

THE KLEINGERS GROUP
CIVIL ENGINEERING SURVEYING LANDSCAPE ARCHITECTURE
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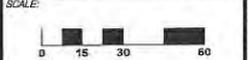
WESNEY CONSTRUCTION
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NO.	DATE	DESCRIPTION
1	05/05/2020	ASRA SUBMITTAL
2	05/28/2020	CITY COMMENTS

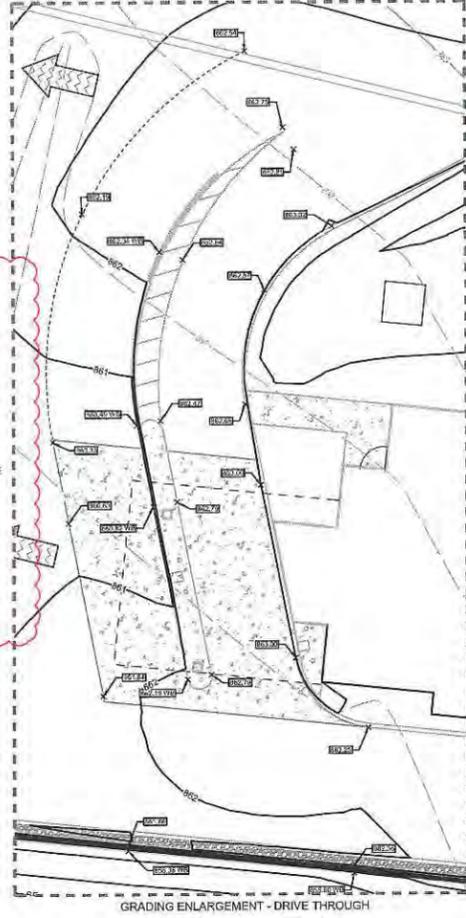
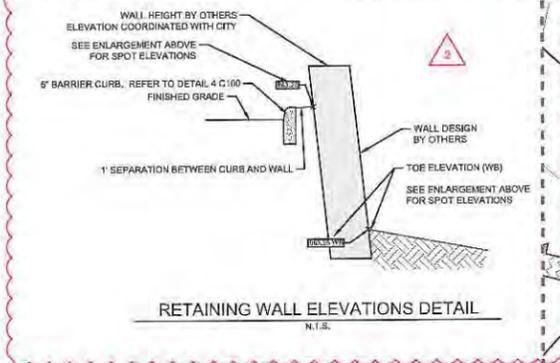
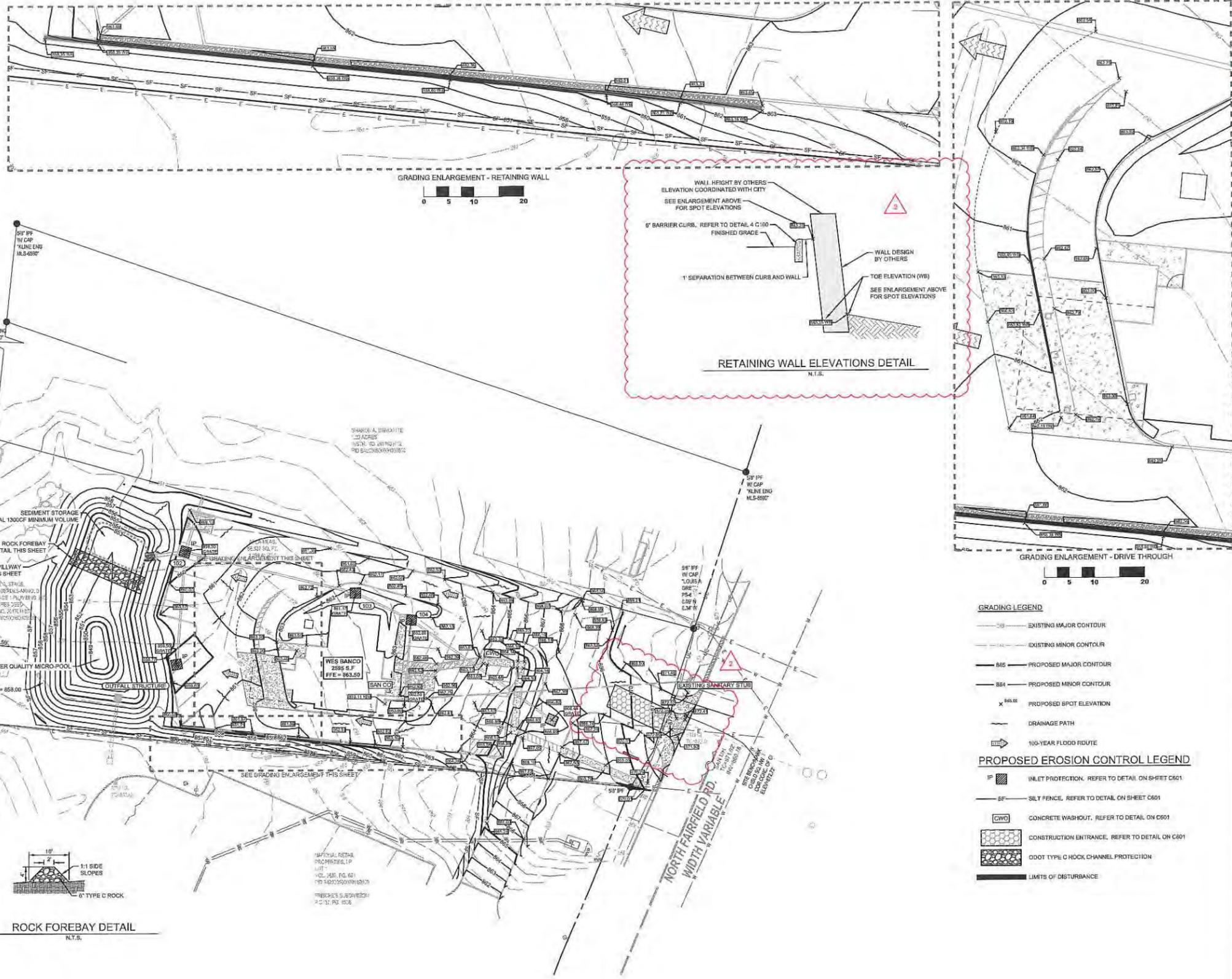
NEW BRANCH OFFICE
WesBanco
1243 N. FAIRFIELD ROAD
BEAVERCREEK OH 45432

PROJECT NO: 200308.000
DATE: 05/09/2020

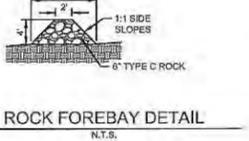


SHEET NAME:
UTILITY PLAN
SHEET NO:
C400





- GRADING LEGEND**
- EXISTING MAJOR CONTOUR
 - EXISTING MINOR CONTOUR
 - PROPOSED MAJOR CONTOUR
 - PROPOSED MINOR CONTOUR
 - x PROPOSED SPOT ELEVATION
 - DRAINAGE PATH
 - 100-YEAR FLOOD ROUTE
- PROPOSED EROSION CONTROL LEGEND**
- IP INLET PROTECTION, REFER TO DETAIL ON SHEET C501
 - SF SILT FENCE, REFER TO DETAIL ON SHEET C501
 - CW CONCRETE WASHOUT, REFER TO DETAIL ON C501
 - CE CONSTRUCTION ENTRANCE, REFER TO DETAIL ON C501
 - OC ODOT TYPE C HOOK CHANNEL PROTECTION
 - LIMITS OF DISTURBANCE



THE KLEINGERS GROUP

CIVIL ENGINEERING SURVEYING LANDSCAPE ARCHITECTURE

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6219 Centre Park Dr. West Chester, OH 45069 513.779.7851

WESNEY CONSTRUCTION

791 Science Blvd., Gahanna OH 43230 614.751-5710



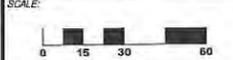
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2	05/28/2020	CITY COMMENTS

NEW BRANCH OFFICE

WesBanco

1243 N. FAIRFIELD ROAD
BEAVERCREEK OH 45432

PROJECT NO: 200308.000
DATE: 05/05/2020



SHEET NAME:
GRADING AND EROSION CONTROL PLAN

SHEET NO:
C500



NOTE:
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**CITY OF BEAVERCREEK
PLANNING COMMISSION
AGENDA ITEM REPORT**

Meeting Date: June 3, 2020 Agenda Reference No.:	Reference Topic: PUD 88-21 Mod 5/20 (Major) Raising Cane's Chicken Fingers
---	--

ACTION REQUESTED		
<input checked="" type="checkbox"/> Approval	<input type="checkbox"/> Disapproval	<input type="checkbox"/> Table
<input type="checkbox"/> Review and Comment	<input type="checkbox"/> No Action Requested	<input type="checkbox"/> Other _____

REQUEST BY APPLICANT:

The applicant is requesting a major modification to PUD 88-21 in order to construct an approximately 3,100 square foot restaurant to be located within the Mall at Fairfield Commons development.

STAFF RECOMMENDATION:

Staff is recommending approval of this Major Modification as outlined in the attached Resolution

PROCEDURAL OPTIONS FOLLOWING ACTION:

The Planning Commission may choose to recommend approval, approval with conditions, disapproval, or tabling of this application.

CITY OF BEAVERCREEK STAFF REPORT

May 27, 2020

CASE NUMBER: PUD 88-21 MOD 5/20 Major
Raising Cane's Chicken Fingers

APPLICANT: Kayla Holbrook
Olio Development Group
1062 Ridge St.
Columbus OH 43215

REQUEST

The applicant is requesting a major modification to PUD 88-21 in order to construct an approximately 3,100 square foot restaurant to be located within the Mall at Fairfield Commons Development.

Existing Conditions, Zoning, & Land Use

The property under discussion currently contains an approximately 6,000 square foot Verizon wireless store and related parking area. Verizon will be relocating to the former IHOP restaurant in the Target outlot and the existing building will be demolished.

The PUD zoning for the Mall at Fairfield Commons allows for all uses permitted in the B-3 zoning district, which does allow for restaurants with drive-thru service.



ANALYSIS

Building Design

As shown in the attached architectural elevations, the applicant is proposing to construct a 3,152 square foot, single-story restaurant. The building will be comprised primarily of two colors of brick with some EIFS accents at the two entrances and around the drive-thru windows. An EIFS parapet wall is also being proposed to screen all roof top mechanical equipment from public view. An additional feature shown on the plans that was not seen in the two previous planning commission approvals is an outdoor seating area and covered patio that will be located on the southwest corner of the building. The patio cover will consist of a gray metal that will match the smaller awnings over the two drive thru windows.

Access and Transportation Improvements

The existing access point shared with the Panera bread will remain in the same location and is the only access point into the site. A sidewalk will also be installed along the ring road and from the site to the Pentagon Boulevard side path. This will continue Staff's efforts to create a more connected, pedestrian-friendly mall development.

The applicant is providing drive-thru stacking for 16 vehicles. The drive-thru will be a two-lane drive-thru and during peak hours, the two lanes will continue all the way up to the pick-up window, where an employee will bring the food to the second lane. During non-peak hours, the lanes will merge to the single pick-up window.

Parking

For restaurants, the Zoning Code requires that there be one off street parking space for every 100 square feet of floor area and one off street parking space for each employee on the largest shift, plus one space for every 200 square feet of outdoor seating area. The restaurant will have approximately 1,183 square feet of indoor area for customer use, which requires 12 parking spaces. The outdoor seating area requires an additional 3 parking spaces, plus 15 spaces for employees, which brings the required total to 30 off street parking spaces. This application proposes 24 on-site parking spaces, including two handicap accessible parking spaces.

There are currently cross parking easements in place throughout the mall PUD and an abundance of unused parking spaces directly across the access drive from the proposed restaurant. A condition of approval has been added to the proposed resolution, which requires that all restaurant staff park in the adjacent parking lot, not on site. This will reduce the amount of customer traffic crossing the access road. A crosswalk and signage has also been required to ensure the safety of pedestrians, whether workers or customers. Considering these factors and the additional conditions, Staff feels comfortable with the provided amount of parking on site.

Screening, Landscaping and Open Space

As shown on the attached landscape plan, the applicant is proposing to maintain some of the existing landscaping that is consistent with the overall mall development design but will install additional landscaping on site. The use of decorative shrubs and grasses in the perimeter and internal landscape islands helps to accent the building and parking area, and is consistent with surrounding development. There are no concerns regarding the proposed landscaping.

Lighting

A Photometric plan has been included in the attached packet and a final plan will be required prior to the release of any zoning permits. A condition of approval will also require approval of proposed light fixtures in order to ensure consistency with the adjacent development.

Signage

Signage is being proposed on the north, south and west elevations as described in the color renderings in the attached packet. An additional mural is proposed on the North elevation that will serve to break up a significant expanse of solid brick. An approximately six foot tall ground sign is also shown along the mall ring road that will be encased in masonry to match the materials used in the building. Staff has no issues with the proposed wall signage or ground sign.

Storm Water Detention

All concerns of the Engineering Department will need to be addressed prior to the release of any permits.

RECOMMENDATION

Based on this analysis, staff recommends approval of this request subject to the conditions outlined in the attached Resolution.

RESOLUTION

CITY OF BEAVERCREEK
PLANNING COMMISSION
June 3, 2020

RE: PUD 88-21 MOD 5/20
Raising Cane's Chicken Fingers

WHEREAS, Raising Cane's Chicken Fingers, 1062 Ridge St. Columbus Ohio 43215, agent for the property owner, has filed an application requesting approval of major modification for PUD 88-21 for the Raising Cane's Chicken Fingers; and

WHEREAS, public hearing was held on June 3, 2020 by the Beaver creek Planning Commission at which time all people who wished to testify gave their comments at the public hearing; and

WHEREAS, the Planning Commission finds that the facts submitted with this Major Modification application and presented at the public hearing and any modifications, amendments, or supplementary conditions satisfy the standards and criteria for a Major Modification to a Specific Site Plan approval as per §158.070 of the Zoning Code; and

NOW, THEREFORE BE IT RESOLVED that the Planning Commission recommends to the Beaver creek City Council:

SECTION I

The Beaver creek Planning Commission recommends to Beaver creek City Council approval of this Major Modification to the Specific Site Plan for the Raising Cane's Chicken Fingers with the following conditions and requirements.

SECTION II

1. The approved site plans for this development shall be the plans stamped "Received May 26, 2020", except as modified herein.
2. The approved architectural elevations for this development shall be the plans stamped "May 26, 2020", except as modified herein.
3. A PUD agreement must be signed by the owner and a bond or letter of credit for the required site landscaping must be submitted prior to the release of a zoning permit for any portion of the project for the purpose, but not for the sole purpose, of insuring the installation of landscaping. Said bond or letter of credit must meet the requirements of

the City's landscaping and screening regulations.

4. A detailed landscape plan shall be reviewed and approved by the Planning Department prior to the execution of the required PUD Agreement and the release of any zoning permit for this project.
5. Perpetual maintenance of landscaping shall be provided and any dead or diseased materials shall be removed and replaced with similar types, species and sizes as originally planted, within three months, weather permitting
6. Prior to the issuance of a zoning permit, final cut sheet details and photometric plans for lighting of the site shall be reviewed and approved by the Planning Department.
 - a. Poles shall match the height of the adjacent development to the east and must have full cut off fixtures.
 - b. No light poles may be located within the parking lot.
7. All trash collection containers shall be screened from view and enclosed within a permanent dumpster enclosure or stored completely within the building.
 - a. Any dumpster enclosure shall be constructed of materials architecturally compatible with the building and have a closable, lockable gate.
 - b. The final design of the dumpster enclosure shall be reviewed and approved by the Planning and Zoning Department prior to the issuance of any zoning permits.
8. The building exteriors shall not be painted or altered in any way that varies from the approved elevations unless otherwise approved by the Planning Department or, if required, by the City Council and/or Planning Commission.
9. Any proposed gutters and downspouts shall be internally mounted.
10. All building mechanical equipment is to be screened from all directions with architectural features (roof forms or parapet walls). Metal screening will not be accepted. Pad mounted equipment must be screened with landscaping and/or masonry walls and shall not be visible to the public.
11. Employee parking shall be designated in the off-site parking area across the ring road.
12. Debris and trash shall be routinely collected by the owner from the parking lot and grounds of all areas of the project including the storm drainage facilities. The City reserves the right to require more frequent collection as necessary.
13. All concerns of the City Engineer, Fire Department, Sanitary Engineer, Planning Department and the Beaver Creek Police Department shall be addressed prior to the issuance of any zoning permits for the project.

14. Signage shall be permitted on the north, south, and west elevations and shall be limited to 50 square feet, per elevation.
- a. The mural shall be additionally permitted on the north elevation, shall be limited to 140 square feet, and must be removed if Raising Cane's vacates the building.
 - b. The ground sign shall be limited to 30 square feet per sign face and 6.2 feet in height. An additional preview board and menu board shall also be permitted.
 - c. No temporary signs of any kind are permitted in this PUD.

SECTION III

These plans and all papers relating to the approved Detailed Site Plan shall be submitted with this resolution to City Council.

The Clerk is directed to transmit this case to City Council for further determination as required by law.

ADOPTED:

VOTING FOR ADOPTION:

VOTING AGAINST:

ABSENT:

Attest:

Chairman

P4 V M PERSPECTIVE VIEWS



RECEIVED

MAY 26 2020

CITY OF BEAVERCREEK
PLANNING DEPARTMENT



P4 V M PERSPECTIVE VIEWS



RECEIVED

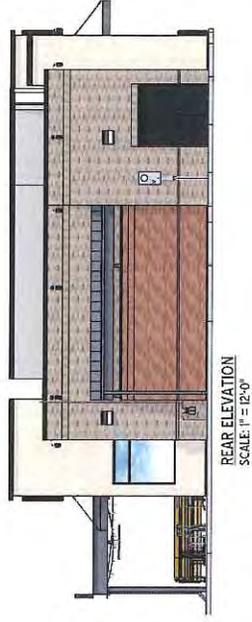
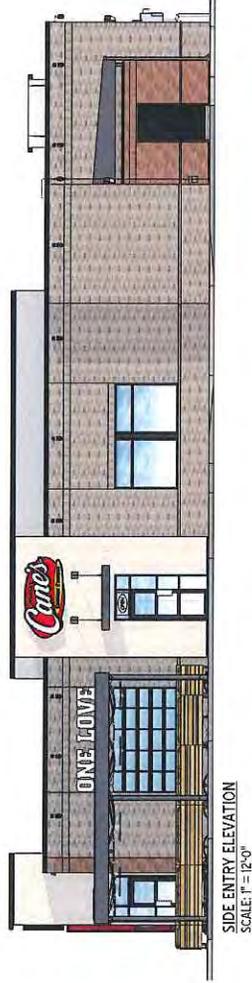
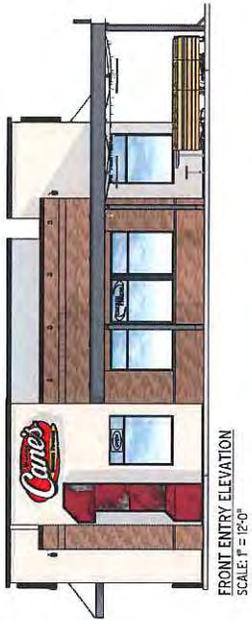
MAY 26 2020

CITY OF BEAVERCREEK
PLANNING DEPARTMENT



05/20/2020

P4 V M ELEVATIONS



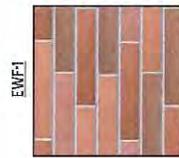
MATERIAL FINISHES



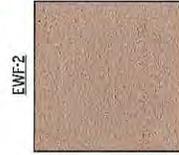
EM-3
HOT ROLLED STEEL W/ CARBON GRADE FINISH - W/ CLEAR MATTE POWDER COAT FINISH



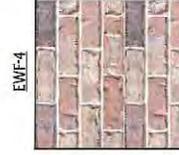
EM-4
RECLAIMED METAL PANEL: VINTAGE CAR HOOD OCCURS AT FACE OF THE 'T' ELEMENT ONLY



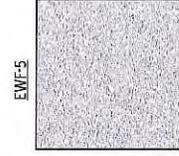
EMF-1
BELDEN NORMAN BRICK MASONRY MEDIUM RANGE, SMOOTH IRON SPOT, MORTAR TO MATCH SOLIDON PRODUCTS 10 H. WEATHERED - HORIZONTAL STRIKE. VERTICAL JOINTS ARE FLUSH



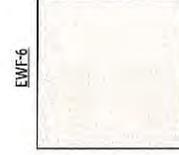
EMF-2
"83 TAMALE" PORTLAND CEMENT EPS.



EMF-4
BORAL "BLANK" MODULAR BRICK, MORTAR TO MATCH SOLIDON PRODUCTS 10 H. LIGHT BUFF SACK RUB FINISH.



EMF-5
"12 MOUNTAIN FOG" PORTLAND CEMENT EPS



EMF-6
"45 OYSTER SHELL" CEMENT EPS



EWS-2
ALUMINUM STOREFRONT SYSTEM FINISH, ANODIZED BLACK

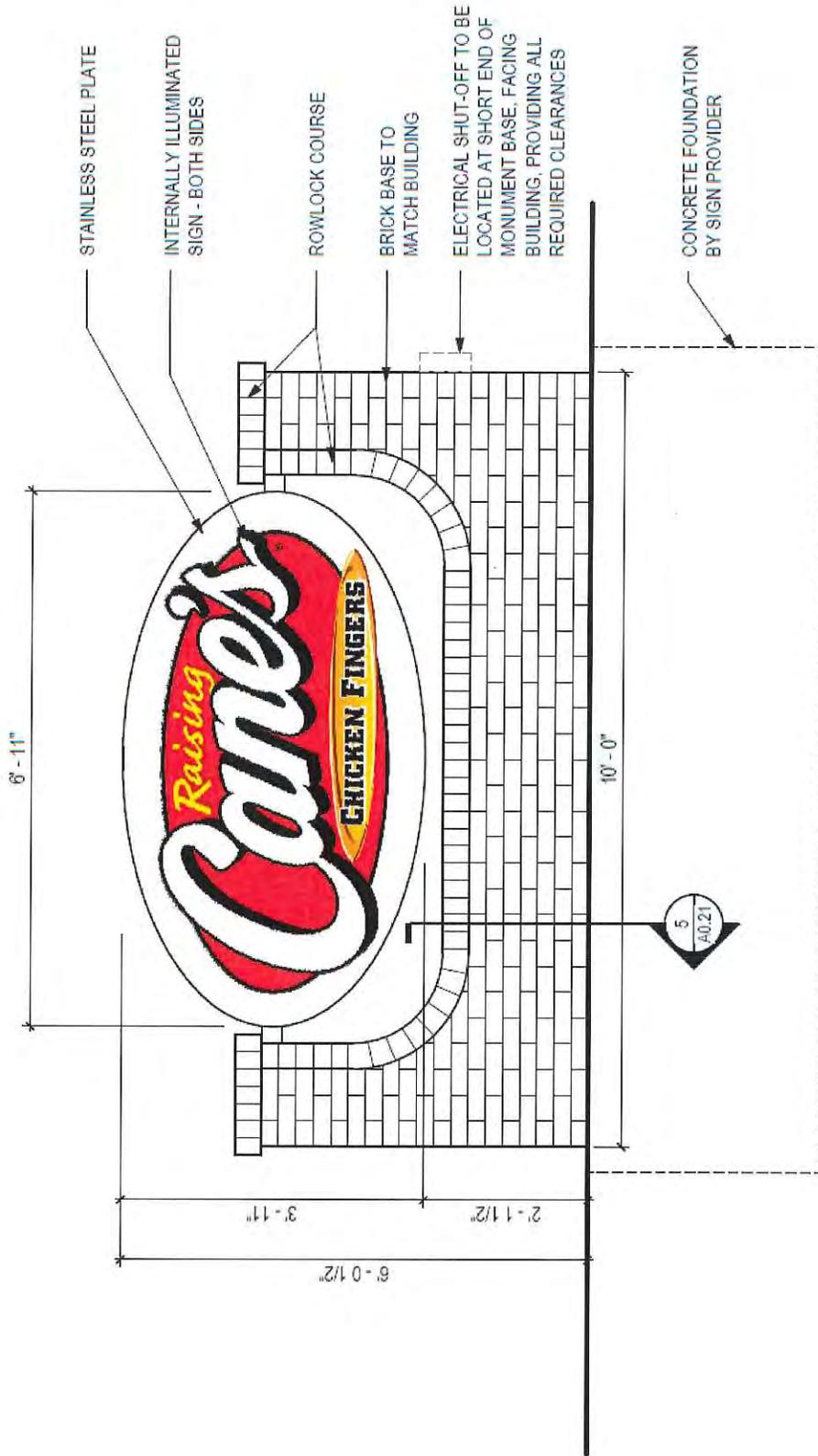
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MAY 26 2020

CITY OF BEAVERCREEK
PLANNING DEPARTMENT



05/20/2020

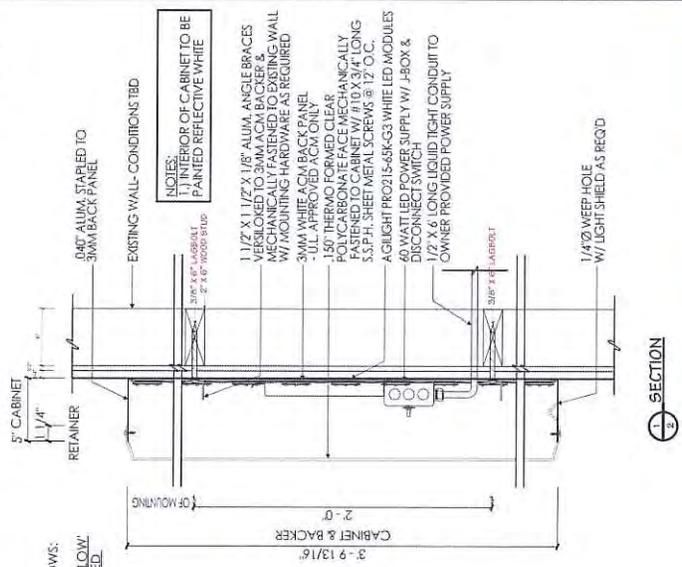


RECEIVED

MAY 26 2020

CITY OF BEAVERCREEK
PLANNING DEPARTMENT

CUTSHEET
WS-8FT



COLOR CHART

	3M #3630-15 'YELLOW'
	3M #3630-73 'RED'
	3M #3630-53 'CARDINAL RED'

ELECTRICAL DATA

VOLTAGE	120
AMPERAGE	1.8

COPY & DROP SHADOW ARE AS FOLLOWS:
- COPY: FIRST SURFACE APPLIED
- TRANSUCENT VINYL 3M #3630-53
- DROP SHADOW IS FIRST SURFACE APPLIED
- CARDINAL RED

BORDER IS PAINTED BLACK
BACKGROUND IS SURFACE APPLIED
TRANSLUCENT VINYL 3M #3630-73 RED
1.50" THERMO FORMED CLEAR POLYCARBONATE FACE
REGISTER MARK IS PAINTED BLACK
DOUBLE EMBOSSED LETTERS ARE PAINTED SECOND SURFACE WHITE
EMBOSSED AROUND LETTERS IS PAINTED SECOND SURFACE BLACK

EMBOSSED SURFBOARD IS AS FOLLOWS:
- SIDES ARE PAINTED TO MATCH PANIGLISE #102C YELLOW
- GRAPHICS ARE SECOND SURFACE APPLIED DIGITAL PRINT



FRONT ELEVATION

30.75
Square Footage



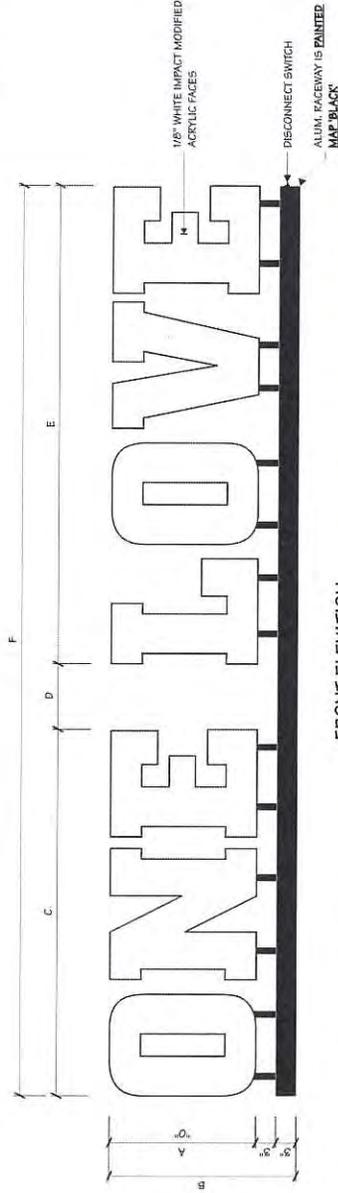
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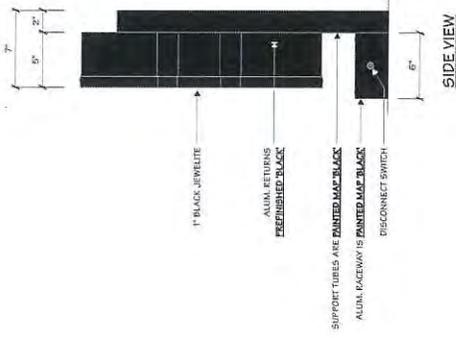
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MAY 26 2020

CUTSHEET
One Love 20" Canopy Letters



FRONT ELEVATION



SIGN SIZE	A	B	C	D	E	F
OL-16	16"	±1' - 10 9/16"	±3' - 3 13/16"	±7 1/8"	±4' - 4"	±8' - 3"
OL-18	18"	2' - 0"	±3' - 8 13/16"	±8"	±4' - 10 1/2"	±9' - 3 3/8"
OL-20	20"	2' - 2"	±4' - 1 13/16"	±8 15/16"	±5' - 5"	±10' - 3 3/8"
OL-22	22"	2' - 4"	±4' - 6 3/4"	±9 13/16"	±5' - 11 1/2"	±11' - 4 1/8"

18.80
Square Footage

The manufacturer is the sole provider of all materials, including, but not limited to, fabric, hardware, and paint. The manufacturer is not responsible for any damage to the sign or its components caused by improper installation, use, or maintenance. The manufacturer is not responsible for any damage to the sign or its components caused by fire, theft, or other causes. The manufacturer is not responsible for any damage to the sign or its components caused by weather conditions. The manufacturer is not responsible for any damage to the sign or its components caused by any other factors. The manufacturer is not responsible for any damage to the sign or its components caused by any other factors.



MAY 26 2020

CITY OF BEAVERCREEK
PLANNING DEPARTMENT



EVANS ENGINEERING
 4240 AIRPORT ROAD, SUITE 211
 CINCINNATI, OHIO 45226
 (513) 321-2168

**RAISING CANE'S CHICKEN
 FINGERS - BEAVERCREEK**

2755 FAIRFIELD COMMONS BLVD. | THE CITY OF
 BEAVERCREEK, OHIO 43015

STATUS: PERMIT SET
 PERMIT ISSUED
 PERMIT EXPIRED
 PERMIT REVISED
 PERMIT WITHDRAWN
 PERMIT SUSPENDED

STATE OF OHIO
 JONATHAN R. EVANS
 E-65653
 REGISTERED PROFESSIONAL ENGINEER
 5/26/2020
 REGISTERED ENGINEER No. 65653

REVISION:
 DATE: 06.06.20 | PERMIT SET

PROJECT NUMBER:
 19-177

DRAWN BY:
 JRE

DATE:
 MAY 06, 2020

SHEET NAME:
 SITE DIMENSION PLAN

SHEET NUMBER:
 C-5.0

PARKING TABLE:

PROPOSED PARKING=	20
ADA ACCESSIBLE=	2
TOTAL PARKING	22 SPACES (MIN. 9'X18')

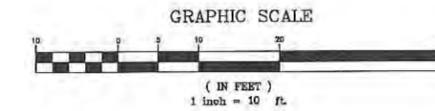
LEGEND-PROP. FEATURES

- LIGHT DUTY ASPHALT PAVEMENT
- HEAVY DUTY ASPHALT PAVEMENT
- NEW PORTLAND CEMENT CONCRETE PAVEMENT
- NEW PORTLAND CEMENT CONCRETE WALK
- CONCRETE WITH SCORE PATTERN, SEE A1.70

SEE LANDSCAPE PLAN, BY OTHERS. ALL AREAS NOT PARKING OR BUILDING ARE TO BE COVERED WITH GRASS/TURF UNLESS OTHERWISE NOTED.

NOTES:

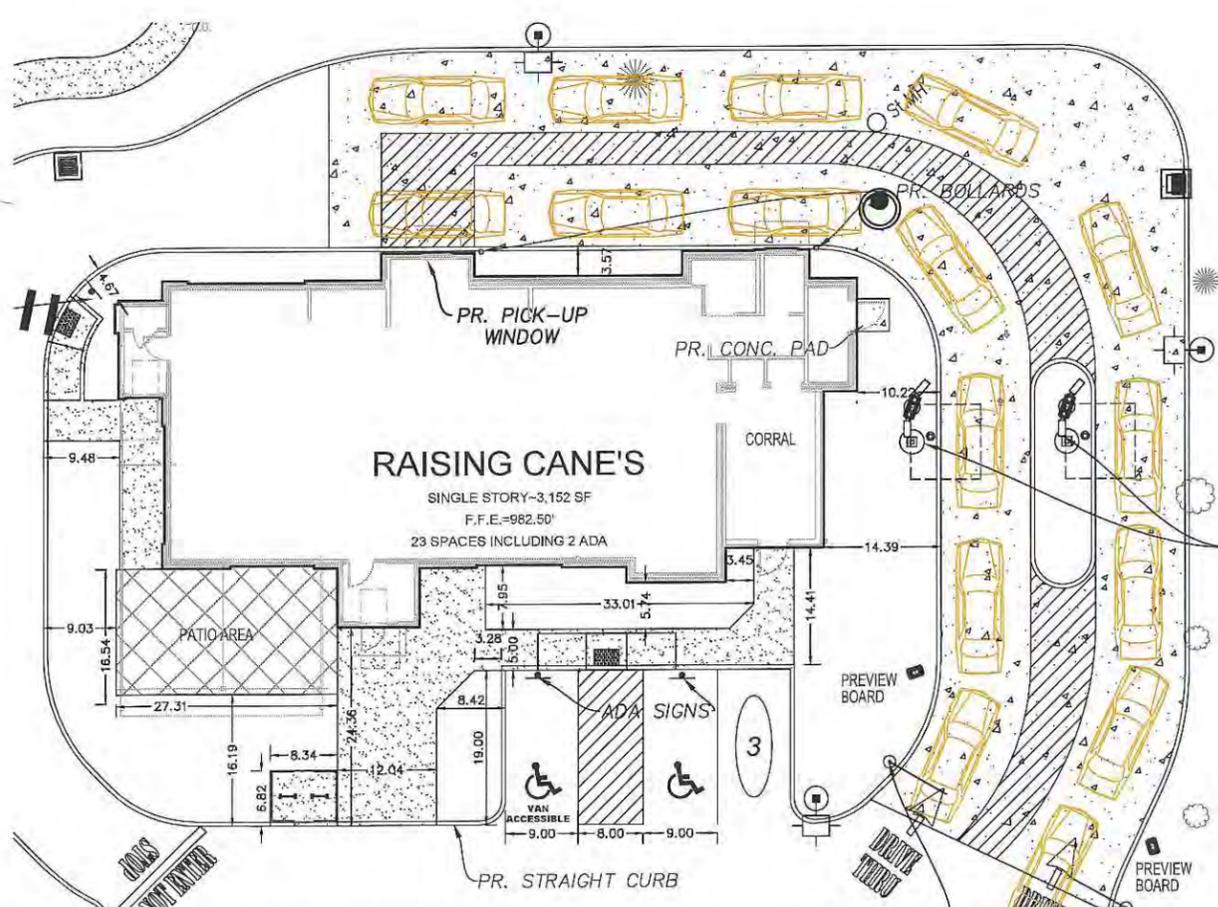
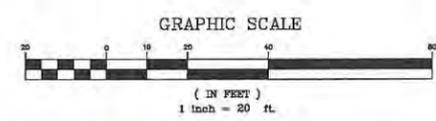
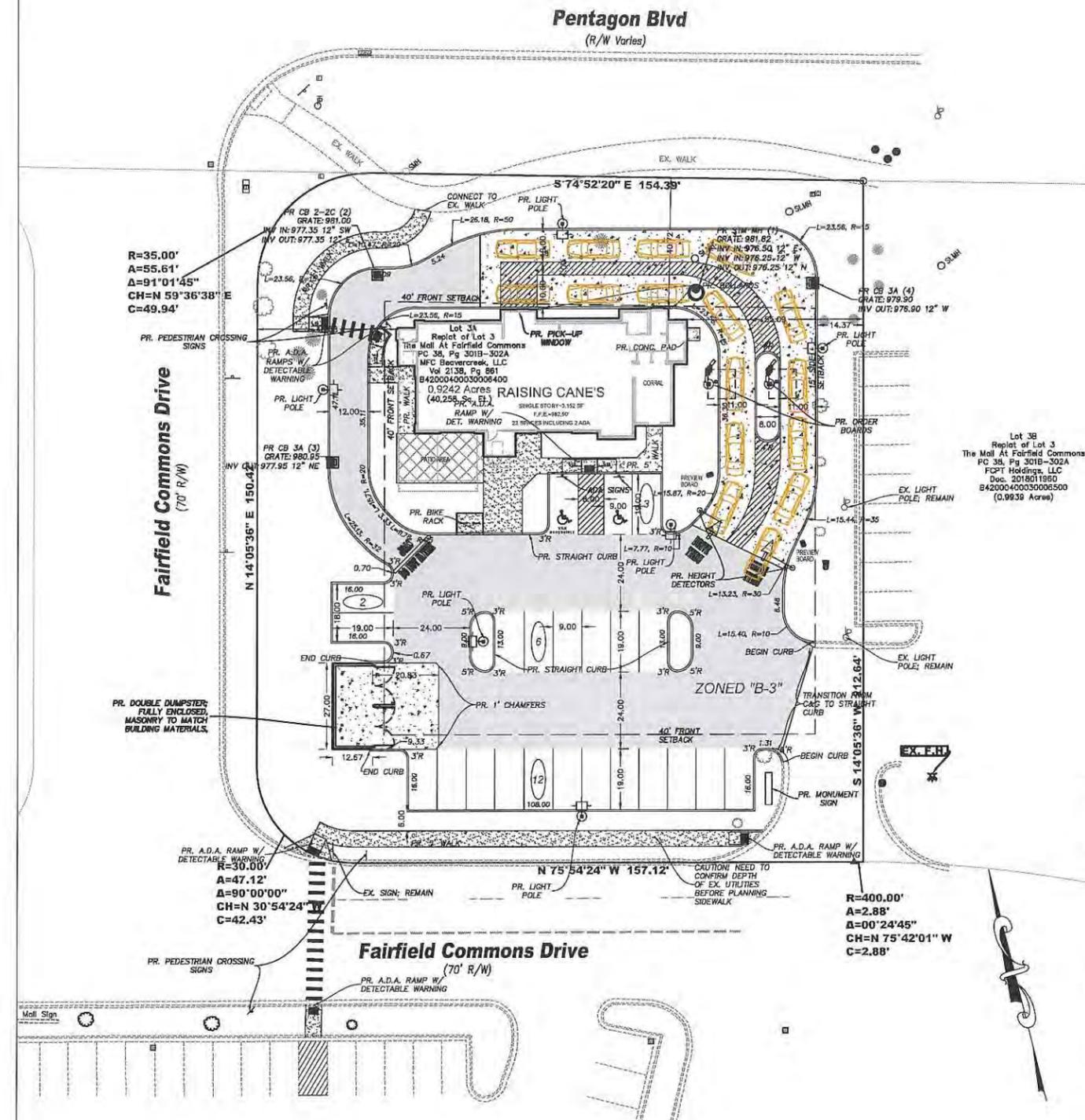
- ALL DIMENSIONS ARE TO FACE OF CURB, CENTERLINE OF STRIPE, PROPERTY LINE OR R/W UNLESS OTHERWISE NOTED.
- ALL CURB RADII ARE 3' UNLESS OTHERWISE NOTED.
- ALL CONSTRUCTION STAGING ACTIVITIES MUST BE SELF-CONTAINED WITHIN THE LOT.
- ALL STORAGE OF CONSTRUCTION MATERIALS, CONSTRUCTION STAGING AREAS AND THE PARKING OF CONSTRUCTION VEHICLES, INCLUDING VEHICLES OF WORKERS, SHALL OCCUR ONLY ON THE SUBJECT PROPERTY.
- ONLY THE ACCESS POINTS LOCATED UPON THE PROPERTY SHALL BE USED BY ALL LABORERS, SUPPLIERS, CONTRACTORS AND OTHERS CONNECTED WITH SUCH CONSTRUCTION ACTIVITIES.
- ALL CONCRETE FOR SITE WORK SHALL BE PER DDOT 452, CLASS "C", 4,000 PSI, 5-7% AIR ENTRAINED.
- PROVIDE A TOOLED JOINT AT THE PERIMETER OF THE CONCRETE DRIVE.



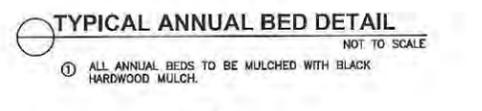
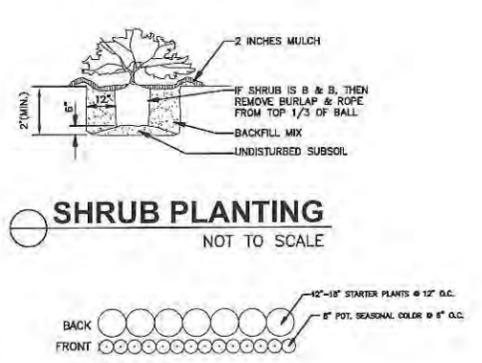
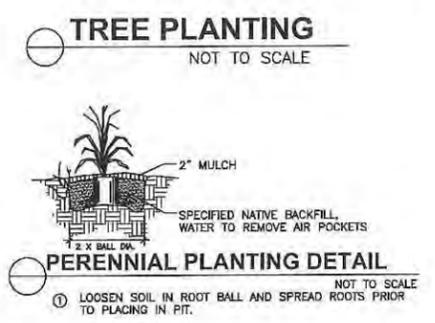
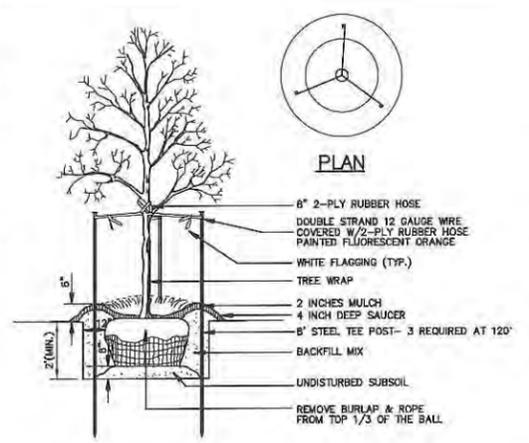
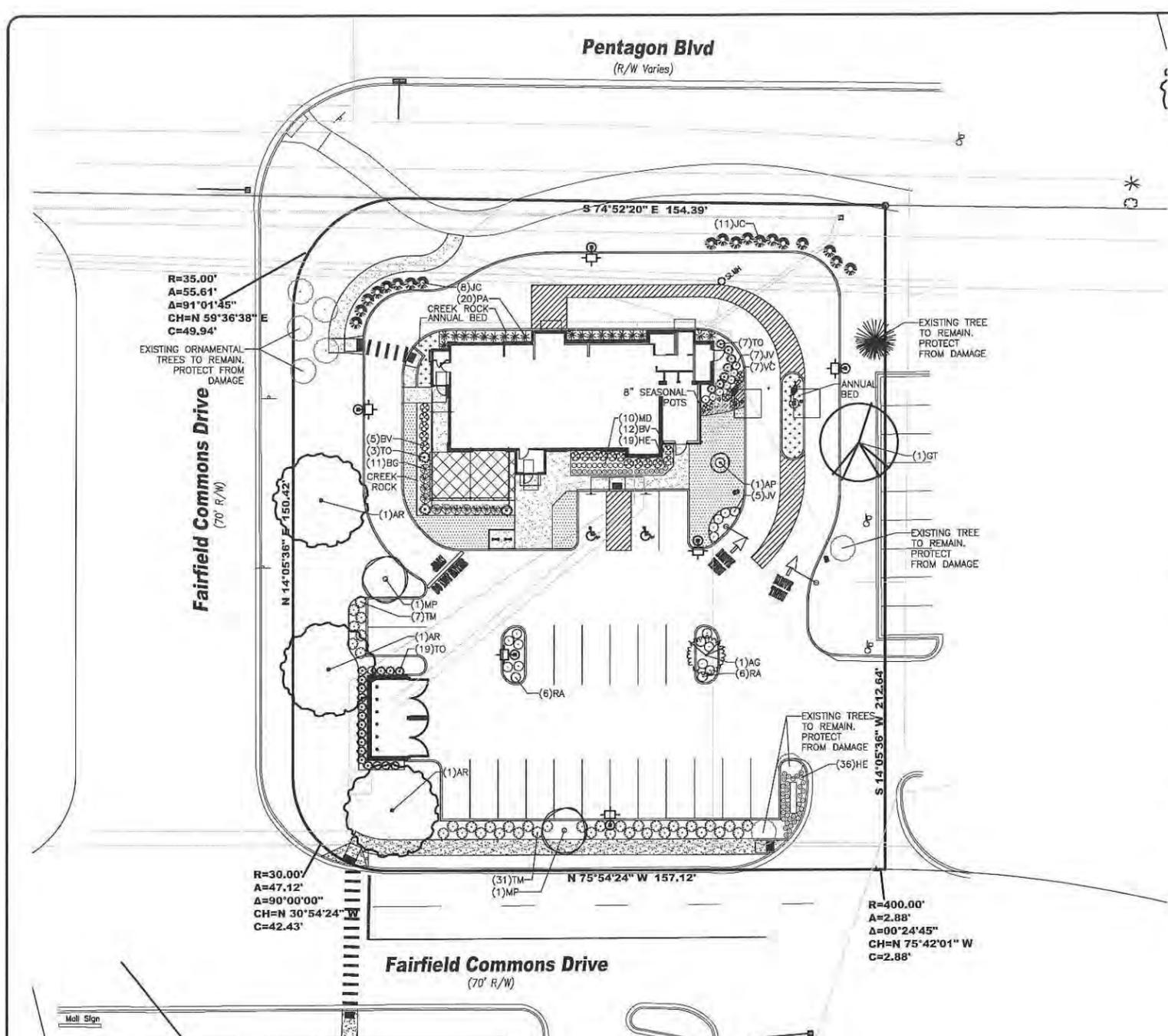
LEGEND

These standard symbols will be found in the drawing.

- CATCH BASIN
- DOUBLE GUTTER INLET
- STORM MANHOLE
- STORM MANHOLE PER RECORD
- SANITARY MANHOLE
- CLEANOUT
- FIRE HYDRANT
- WATER METER
- WATER VALVE
- GAS METER
- GAS VALVE
- TRAFFIC POLE
- LIGHT POLE
- ELECTRIC METER
- ELECTRIC BOX
- TRANSFORMER
- CATV BOX
- TELEPHONE BOX
- YARD LIGHT
- SIGN
- PARKING STRIPE
- BOLLARD
- TREE - CONIFER
- TREE - DECIDUOUS

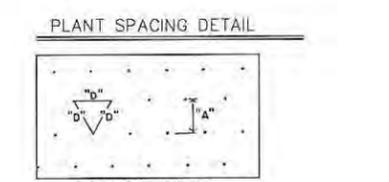


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 MAY 26 2020
 CITY OF BEAVERCREEK
 PLANNING DEPARTMENT



- PERMANENT SEEDING**
- ALL DISTURBED AREAS SHOULD BE FINE GRADED AND SEEDING IMMEDIATELY AFTER CONSTRUCTION. SEED WITH APPROPRIATE MIXTURE AT THE MANUFACTURER'S WRITTEN RECOMMENDED RATE.
 - TILL AREAS TO BE SEEDING TO A DEPTH OF 4\"/>

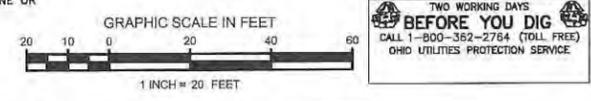
- PLANT SYMBOLS**
- LAYERED ANNUAL BED. SEE TYPICAL ANNUAL BED DETAIL. ALL ANNUAL BEDS TO BE MULCHED WITH BLACK HARDWOOD MULCH.
 - 8\"/>



SPACING "D"	ROW "A"
6\"/>	

KEY	QTY.	SCIENTIFIC NAME	COMMON NAME	SIZE	CONDITION	REMARKS
JANUARY TREES						
GT	1	<i>Gleditsia triacanthos</i> 'Inermis' 'Skyline'	Skyline Honeylocust	2.0' cal.	B&B	Straight Central Leader
AR	3	<i>Acer rubrum</i> 'October Glory'	October Glory Maple	2.0' cal.	B&B	Straight Central Leader
ORNAMENTAL/ EVERGREEN TREES						
AP	1	<i>Acer pol. dis.</i> 'Inoba Shidore'	Inoba Shidore Laceleaf Maple	2.0' cal.	B&B	
AG	1	<i>Amelanchier grandiflora</i> 'Autumn Brilliance'	Autumn Brilliance Serviceberry	6' ht.	B&B	Single Stem
MP	2	<i>Malus</i> 'Pralinefe'	Pralinefe Crabapple	6' ht.	B&B	Single Stem
SHRUBS						
BG	11	<i>Buxus x</i> 'Green Mountain'	Green Mountain Boxwood	36\"/>		

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MAY 26 2020
CITY OF BEAVERCREEK
PLANNING DEPARTMENT



UNDERGROUND UTILITIES
TWO WORKING DAYS
BEFORE YOU DIG
CALL 1-800-362-2764 (TOLL FREE)
OHIO UTILITIES PROTECTION SERVICE

REVISION NUMBER: DATE:

2K L A
2K Landscape Architecture, LLC
3234 Harvest Ave
Beavercreek, OH 45319
www.2klandscapearchitecture.com

LANDSCAPE PLAN
RAISING CANES
BEAVERCREEK, OH
FAIRFIELD COMMONS
CITY OF BEAVERCREEK, OHIO

OWNER:

PROJECT NO.: 2020-20

DATE: May 20, 2020

DRAWN BY: KTC

CHECKED BY: KTC

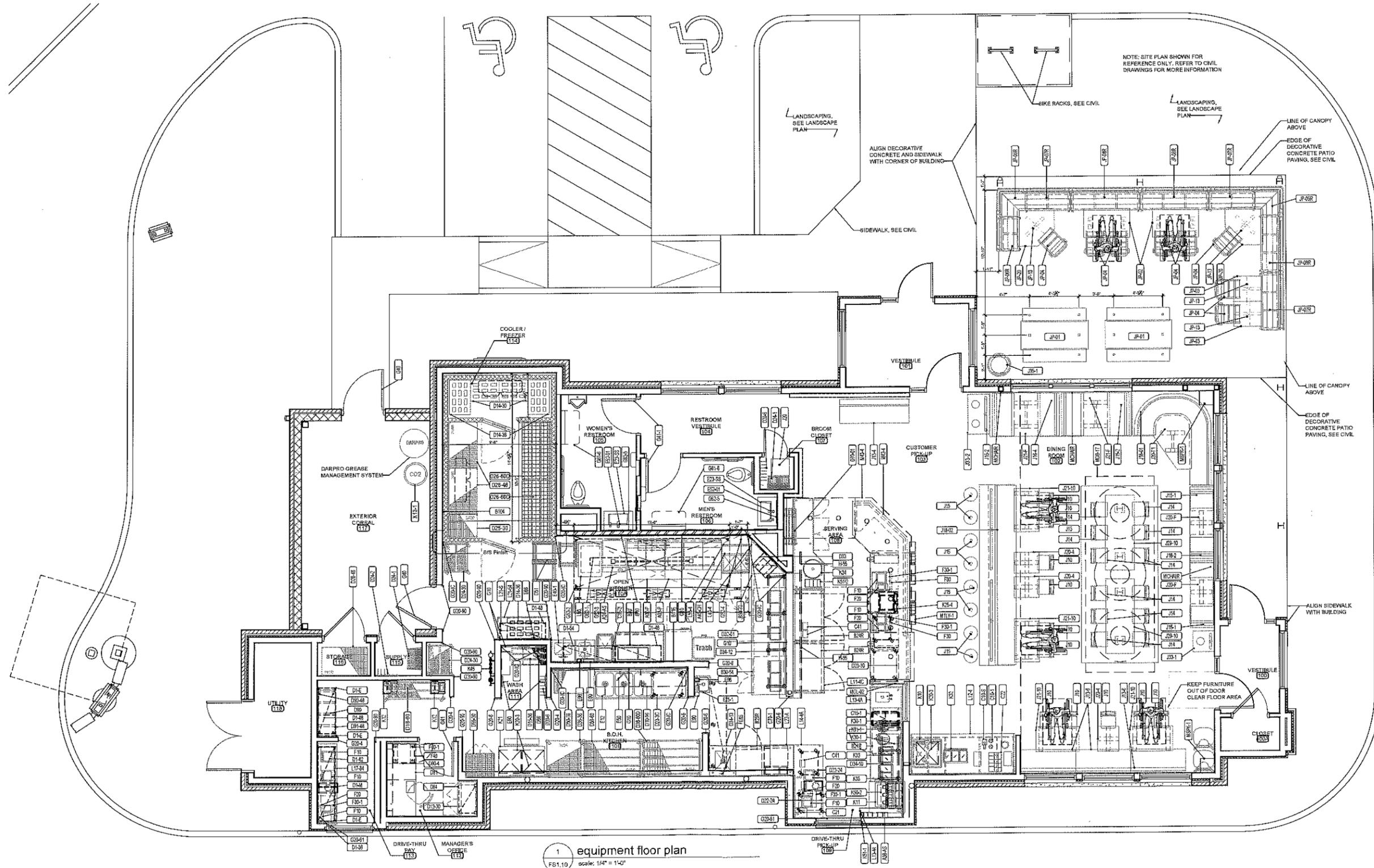
SCALE: 1" = 20'

SHEET:
L-1

READINESS CHECKLIST FOR EQUIPMENT AND MILLWORK INSTALLATION

THE GENERAL CONTRACTOR IS RESPONSIBLE FOR THE READINESS OF THE BUILDING FOR THE INSTALLATION OF EQUIPMENT AND FURNISHINGS. READINESS OF THE BUILDING MEANS, MINIMALLY, THAT:

- | | |
|--|--|
| 1. WINDOWS ARE INSTALLED | 10. TILE INSTALLATION IS COMPLETE |
| 2. BUILDING IS SECURED | 11. FRP INSTALLATION IS COMPLETE |
| 3. SILICAL FLOOR IS INSTALLED AND CLEANED | 12. EXHAUST HOOD IS INSTALLED |
| 4. CURBS ARE FABRICATED | 13. SUSPENDED CEILING GRID AND LIGHTS ARE INSTALLED AND OPERATIONAL. IF NO LIGHTS, TEMPORARY LIGHTS MUST BE IN PLACE |
| 5. ELECTRICAL OUTLETS ARE INSTALLED | 14. PLUMBER IS ON SITE TO WORK WITH INSTALLER ON SINKS |
| 6. PLUMBING AND ELECTRICAL EQUIPMENT IS ROUGHED IN | 15. ALL AREAS ARE CLEAN |
| 7. WALL PAINTING AND TILING IS COMPLETE | 16. PAVEMENT OR SUITABLE SUB-GRADE IS IN PLACE FOR EASY ACCESS TO BUILDING FOR DELIVERY OF EQUIPMENT |
| 8. GYPSUM BOARD CEILINGS ARE IN PLACE | |
| 9. THE BUILDING HAS TEMPORARY POWER AND THE SPACES HAS LIGHTING AND IS CONDITIONED | |



1 equipment floor plan
FS1.10 scale: 1/4" = 1'-0"

RAISING CANE'S CHICKEN FINGERS

2755 FAIRFIELD COMMONS | BEAVERCREEK, OH 45431 NEW BUILDING

STATUS:

ANDREW ALAN HUBER #16044
EXPIRATION DATE: 12/31/2021

REVISION:

PROJECT NUMBER:
RCO48

DRAWN BY:
AH

DATE:
05/06/2020

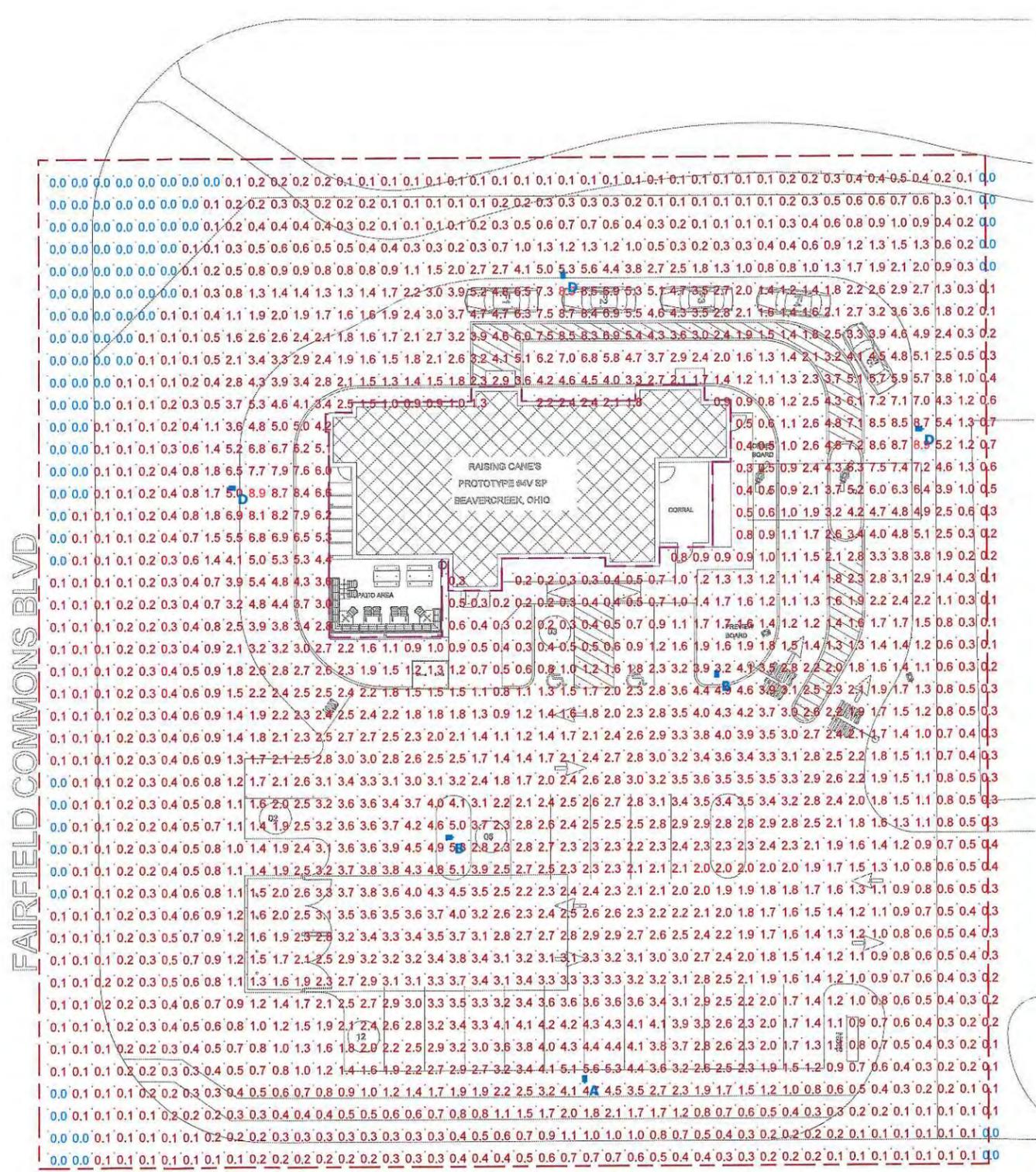
SHEET NAME:
EQUIPMENT FLOOR PLAN

SHEET NUMBER:

PENTAGON BLVD

Statistics						
Description	Symbol	Avg	Max	Min	Max/Min	Avg/Min
Calc Zone #2	+	1.7 fc	8.9 fc	0.0 fc	N/A	N/A

Schedule										
Symbol	Label	Quantity	Manufacturer	Catalog Number	Lamp	Number Lamps	Lumens Per Lamp	Light Loss Factor	Wattage	Mounting Height
	A	1	Lithonia Lighting	DSX2 LED P1 50K T3M MVOLT	LED	1	18643	0.8	140	20'
	B	2	Lithonia Lighting	DSX2 LED P1 50K TFTM MVOLT	LED	1	19191	0.8	140	20'
	D	3	Lithonia Lighting	DSX2 LED P1 50K T2M MVOLT HS	LED	1	15693	0.8	140	15'



Raising Cane's Chicken Fingers - Beaver Creek
2755 Fairfield Commons Blvd
Beaver Creek, Ohio

Date
4/29/2020

Site Lighting
Plan

**CITY OF BEAVERCREEK
PLANNING COMMISSION
AGENDA ITEM REPORT**

Meeting Date: June 3, 2020	Reference Topic: PC 20-4 Zoning Code Updates
Agenda Reference No.	

ACTION REQUESTED		
<input type="checkbox"/> Adopt Ordinance	<input checked="" type="checkbox"/> Adopt Resolution	<input type="checkbox"/> Review and Comment
<input type="checkbox"/> No Action Requested	<input type="checkbox"/> Accept Staff Recommendation	<input type="checkbox"/> Adopt Motion

RESPONSIBLE DEPARTMENT OR AGENCY		
<input type="checkbox"/> Finance	<input type="checkbox"/> City Council	<input type="checkbox"/> Law
<input type="checkbox"/> Parks & Recreation	<input type="checkbox"/> Engineering	<input checked="" type="checkbox"/> Planning & Zoning
<input type="checkbox"/> Police	<input type="checkbox"/> Public Service	<input type="checkbox"/> City Manager
<input type="checkbox"/> Clerk of Council	<input type="checkbox"/> Human Resources	<input type="checkbox"/> Other _____

The Planning Commission recommended approval of several changes to the Zoning Code in March of 2020. Due to Covid-19, the case did not move forward to City Council and since that time staff has made some additional changes to the Code:

- Definition of *Addition* removes architectural compatibility requirement, which was removed from the code several years ago, but inadvertently left in the definition section.
- Covered porches attached to accessory structures count towards the maximum square footage allowed on a property, however that has not previously been expressly outlined in the code.
- Consistency on the height and type of fencing permitted was necessary in the fence section of the code.

All of the changes, including the previously approved ones, can be found in the attached pages.

STAFF RECOMMENDATION:

Staff is recommending approval of this request as outlined in the attached resolution.

PROCEDURAL OPTIONS FOLLOWING ACTION:

The Planning Commission may choose to approve, modify, disapprove, or table this resolution.

● **158.003 DEFINITIONS.**

For the purpose of this chapter, the following definitions shall apply unless the context clearly indicates or requires a different meaning. In case of any difference of meaning or implication between the text of this chapter and any caption or illustration, the text shall control.

ACTUAL START OF CONSTRUCTION. Either the first placement of an integral part of, or permanent construction of, a structure on a site, such as the pouring of slab footings or the installation of piles. The following shall not be construed as or be interpreted as constituting the ***ACTUAL START OF CONSTRUCTION***: land preparation, such as clearing, grading and filling; the installation of streets and/or walkways; the excavation for a basement, footings, piers, foundations or the erection of temporary forms; the installation upon the property of accessory buildings, such as garages or sheds not occupied as dwelling units or not part of a principal structure.

ADDITION. Any increase in the gross square footage of a structure. ~~Additions shall be architecturally compatible with the existing principal structure with respect to materials used, height and scale.~~

ADMINISTRATIVE SITE PLAN REVIEW APPROVAL (ASRA). A site plan review process, performed by City Council and Planning Commission which ensures that the general design plan and detailed site plan for the authorized and approved use or uses on the subject property will protect or enhance the public interest, will provide a suitable and desirable arrangement of use or uses on the subject property, and the use(s) of the subject property provides favorable relationships with one another, the major natural features of the property, and surrounding properties.

ADULT DAY CARE CENTER. A facility which provides supervision, assistance, protection, medical or personal care for adults for a time period of less than 24 hours per day.

ADULT ENTERTAINMENT FACILITY. A facility having a significant portion of its function as adult entertainment which includes the following listed categories:

(1) ***ADULT BOOK STORE.*** An establishment having a substantial or significant portion of its stock in trade, books, magazines, or other periodicals which are distinguished or characterized by their emphasis on matter depicting or relating to "specified sexual activities" or "specified anatomical areas" as herein defined or an establishment with a segment or section devoted to the sale or display of such material.

(2) ***ADULT ENTERTAINMENT BUSINESS.*** Any establishment involved in the sale of services or products characterized by salacious conduct appealing to prurient interest for the observation or participation in by patrons, the exposure or presentation of "specified sexual activities" and/or "specified anatomical areas" and/or physical contact of live males or females, and which is characterized and/or portrayed by either photography, dancing, stripping, reading, massage, male or female impersonation, or similar activity or medium.

SIGN, WALL. Sign attached to a wall of a building, with the face horizontally or vertically parallel to the building wall.

SIGN, WINDOW. Signs affixed to the glass on the inside of a window, or erected within three feet of a window on the inside of a building, so as to be seen from the outside of a building.

SLOPE. The relationship between the change in elevation of land (rise) and the horizontal distance over which that change in elevation occurs (run). Slope may be calculated by dividing the rise by the run, multiplied by 100, and expressed as a percentage, or shown as a ratio.

SMALL CELL FACILITY. A wireless facility that meets both of the following requirements:

(1) Each antenna is located inside an enclosure of not more than 6 cubic feet in volume or, in the case of an antenna that has exposed elements, the antenna and all of its exposed elements could fit within an enclosure of not more than 6 cubic feet in volume.

(2) All other wireless equipment associated with the facility is cumulatively not more than 28 cubic feet in volume. The calculation of equipment volume shall not include electric meters, concealment elements, telecommunications demarcation boxes, grounding equipment, power transfer switches, cut-off switches, and vertical cable runs for the connection of power and other services.

SOLAR ENERGY. Radiant energy (direct, diffused, and reflected) received from the sun.

SOLAR FARM. A solar energy operation whose primary purpose is the sale of solar energy for commercial gain.

SPECIFIC SITE PLAN. A detailed development plan for a part of, or all of, a planned unit development indicating the specific proposed locations of structures, signs, parking areas, means of vehicular access and movement, pedestrian walkways, landscaping and open space, lighting plans, buffering and screening devices, utility services, drainage and runoff control systems, and other details.

STORY. The part of a building, except a mezzanine as defined herein, included between the surface of one floor and the surface of the next floor, or if there is no floor above, then the ceiling next above. If the floor level directly above a basement is more than six feet above grade, such basement shall be considered a story.

STORY, HALF. An uppermost story lying under a sloping roof having an area of at least 200 square feet with a clear height of seven feet six inches. For the purpose of this chapter, the usable floor area is only that area having at least four feet clear height between floor and ceiling.

STRUCTURE. Anything constructed or erected, the use of which requires location on the ground or attachment to something having location on the ground.

SUPPLEMENTARY CONDITIONS. The Board of Zoning Appeals, the Planning Commission or City Council conditions that modify or alter proposed PUD zoning classification application, specific site plan applications, ASRAs, variances, or conditional uses.

SWIMMING POOL. A structure exceeding 100 square feet in water surface area or 12 feet in

(b) Eave penetration is used for perpendicular descent of heating/cooling lines from the roof to the exterior building wall surfaces.

(C) *General provisions for all panels.*

(1) All mounting brackets and related structural supports extending more than three inches above the roof surface shall be covered in a manner architecturally compatible with the building to screen from public visibility and/or abutting properties.

(2) All solar equipment, except portions of the collectors that must be black or clear glass or plastic to allow light transmission or heat absorption, including mounting brackets and/or screening materials, shall match the abutting surface color.

(3) No portion of any roof-mounted solar equipment may extend above the ridge line or below the gutter line.

(D) *Ground mounted panels.* Ground-mounted panels shall conform to the following:

(1) The collectors and all related mechanical equipment shall be located in the side or rear yard only;

(2) Shall not exceed eight feet in height above the adjacent grade; and

(3) All related mechanical equipment, other than the actual photoelectric panels, shall be fully screened from the adjacent properties by fencing or a combination of evergreen and deciduous plantings.

(E) *Permit required.* An accessory structure permit must be approved by the Planning and Zoning Development Department prior to the installation of any solar panels or related equipment and must also meet the same setback requirements.

(F) *Rights to access.*

(1) *Purpose.* To establish the rights of those persons that have elected to use solar energy for heating/cooling their homes, heating their hot water supplies and/or heating their swimming pools.

(2) *Designation of solar access areas.* Hereafter, in new developments or sections of new developments that have been designated by the developer as being solar access areas, the property owners are required to consider the effects of the location of structures and trees on their property in relation to the property of those neighbors to the east, north and west of them to insure that the structures and trees do not block the neighbors' houses from direct access to the sun's energy.

(3) *Determination of field of view.* For purposes of determining the location of the field of view of the house, it can be assumed that the area to be provided access to the sun's energy is an area located in elevation ten feet above the normal ground level, hereafter referred to as "the plane," 40 feet from the front property line, 50 feet from the rear property line and ten feet from the side property lines for lots 100 to 140 feet wide or a width not to exceed plus 50 feet from a point midway between the side property lines for lots in excess of 140 feet wide.

(E) *Maximum size.*

(1) Residential districts.

(a) Within any residential district where the footprint of the principal structure is less than 1,200 square feet, the sum of the footprint of all accessory buildings shall not exceed 600 square feet.

(b) In the case where the footprint of the principal structure is greater than 1,200 square feet, the sum of the footprint of all accessory buildings shall not exceed 50% of the footprint of the principal structure, or 900 square feet, whichever is less.

(c) In cases where the lot size is 20,000 square feet or greater, the sum of the footprint of all accessory buildings shall not exceed 50% of the footprint of the principal structure.

(d) Covered porches attached to the accessory structure shall count towards the maximum square footage allowed.

(2) Within any commercial district, excluding I-1 and I-2 districts, there shall be no more than one accessory building, which shall not have a footprint greater than 100 square feet.

(F) *Breezeways.* If an accessory structure is attached to a principal structure by a breezeway, it shall not be considered part of the principal structure, unless said breezeway meets all of the following criteria:

(1) The accessory structure and the principal structure are no more than 12 feet apart.

(2) The breezeway and the accessory structure are constructed of building materials and color consistent with the principal structure and shall be fully enclosed.

(3) The breezeway and the accessory structure are designed, in terms of height and roof pitch, consistent with the principal structure.

(4) If the structure does not meet the above criteria, it shall not be considered part of the principal structure, and must meet all setbacks and size requirements of accessory structures.

(5) Breezeways that are longer than 12 feet, or are not architecturally compatible with the principal structure, shall be considered an accessory structure, and will be counted toward maximum accessory structure square footage.

(G) *Carports.*

(1) Carports which are permanently affixed to the principal structure shall be located in the rear or side yards, but outside of the required rear or required side yards.

(2) Carports which are not permanently affixed to the principal structure shall be located in the rear yard only, and the square footage of such carport is to be considered as, and counted toward, allowed accessory structure square footage and shall be located on the property in accordance with this division.

(3) Carports must be constructed of a rigid material. Carports attached to the existing principal

structure must be architecturally compatible with said principal structure.

(H) *Propane tanks.* A maximum of two propane tanks may be permitted within the side yards in any residential district. Said tanks shall not exceed five feet in height and the capacity shall not exceed 24 gallons each. Said tanks must be completely screened from view from both the adjacent roadway and from the adjoining property to the side. Screening may be accomplished through the use of either landscaping materials or fencing. One 48 gallon tank, not to exceed five feet in height, may be permitted in the side yard in lieu of two 24 gallon tanks. Said tank must be completely screened from view from both the adjacent roadway and from the adjoining property to the side. One vertical tank, as permitted by the Greene County Building Department, to be located immediately adjacent the principal structure, not to exceed five feet in height from the adjacent grade and a maximum of 42 inches in diameter, may be permitted in the side yard in lieu of two 24 gallon tanks or one 48 gallon tank. Said tank must be complete screened from view from both the adjacent roadways and from the adjoining properties. Tanks in greater volume than those authorized in side yards, up to 1,000 gallons shall only be permitted in the rear yard of any residential or commercial district and shall be placed outside the required side and rear yard setbacks for accessory structures. Said tanks must be completely screened from view from both the adjacent roadway (in the case of corner lots) and from the adjoining property to the side and rear. Screening may be accomplished through the use of either opaque evergreen landscaping materials or fencing. No lot shall contain more than a combined 1,000 gallons of propane unless approved by the Board of Zoning Appeals.

(I) *Prohibited accessory structures.* Quonset huts, steel arch buildings, inflatable garages, and portable garages, temporary garages, portable carports, temporary carports, portable containers, converted storage or shipping containers, and semi-tractor trailers used for storage (with or without wheels) except as in • 158.112(D), are prohibited accessory structures in residential and commercial districts. All carports shall be prohibited in commercial districts.

(Ord. 09-21, passed 7-27-09; Am. Ord. 10-12, passed 9-13-10; Am. Ord. 12-02, passed 2-13-12)

• 158.105 ACCESSORY FENCES, WALLS AND PLANTINGS.

(A) *Fences and walls in side and rear yards.* Fences or walls constructed within a side or rear yard shall not be higher than six feet except as provided in this section. Tennis court fences are permitted to a maximum height of ten feet around the tennis court.

(B) *Structural supporting members.* All horizontal structural supporting members for fences shall be on the interior side of the fence, except shadowbox fencing where both sides shall be considered the interior side of the fence.

(C) *Height of hedges, fences and walls in required front yards.* No fence, wall or hedge shall rise over 42 inches in height within any required front yard within residential and commercial districts. In the case where the principal structure falls within the required front yard, fences up to six feet high shall be permitted in the required front yard as long as said fence is no closer to the public right-of-way than the principal structure.

(D) *Front yard setback and visibility requirements.* Fences, walls or hedges shall be prohibited:

- (1) Closer than 12 feet from the back of curb;
- (2) Closer than 25 feet from the center line of streets without curbs and gutters;
- (3) Within a public right-of-way; and/or
- (4) Which interfere with visibility from driveways or at intersections.

(E) *Decorative fences.* No permit shall be required for decorative fences. Decorative fences shall adhere to the height and location regulations for fences in the district in which they are located. See also • 158.003 Definitions - **FENCE, DECORATIVE.**

(F) *Security fences.* Security fences up to eight feet high are permitted in business and industrial districts.

(G) *Prohibited fences.* Chain link fencing, cyclone fencing or similar appurtenances shall be prohibited in the front yard. Electric fences, barbed wire fences, snow fences, corrugated metal fences, or other temporary fences shall not be permitted within residential districts. Except for the use as backing of a split-rail fence, wire mesh fencing, chicken wire fencing and welded wire fencing shall not be permitted within residential districts. No chain link (other than fences surrounding tennis courts) over 60" or split rail/Kentucky three board fence over 48" shall be permitted in the rear or side yard within residential and commercial districts.

(Ord. 09-21, passed 7-27-09; Am. Ord. 12-02, passed 2-13-12)

• 158.106 REMOVAL OF SOIL, SAND, GRAVEL OR STONE FROM A LOT.

(A) *Temporary conditional use approval required.* The removal or extraction, storage and processing of soil, sand, gravel or stone from any lot shall only be conducted in accordance with the requirements of this section and is permitted only in those districts where such use is specifically listed as a conditional use. The temporary conditional use request may be denied or approved in appropriate cases after the filing of an application accompanied by an agreement secured by a bond, with the terms and amount of such agreement and bond acceptable to the city. Such agreement and bond shall assure that such removal will not result in poor drainage or leave the surface of the land, at the expiration of such permit, in an unstable condition, or unfit for the growing of turf or for other land uses permitted in the district in which such removal occurs.

(B) *Extraction and processing of sand, gravel, stone, or subsoils.* All mineral extraction and processing operations shall be in accordance with the following provisions:

(1) *Extraction less than six feet in depth adjacent to residential districts.* Extraction involving the removal of any material to a depth not exceeding six feet may be conducted up to 100 feet from a residential district, provided the operation is conducted over a temporary period not to exceed 12 months and operation of equipment is limited to the extraction process between the hours of 7:00 a.m. and 7:00 p.m. Temporary operational roads shall not be closer than 200 feet to a residential district.

(2) *Setback from existing residential districts or uses.* Extraction which exceeds six feet in depth and processing activities shall not be conducted closer than 500 feet from any residential district so zoned

<i>Type of Use</i>	<i>Parking Spaces Required</i>
Restaurant, bar, tavern or nightclub	One space for each 100 square feet of indoor floor area, plus one space for each employee on the largest shift, plus one space for each 200 square feet of outdoor dining area
Retail store solely for the sale of furniture, large appliances, or similar large items	One space for each 800 square feet of floor area, plus one space for each employee on the largest shift
Retail stores not specified elsewhere such as consumer electronic stores, book stores, video stores or other stores with similar small items	One space for each 250 square feet of gross floor area
Warehouse store, building material store, motorcycle sales, or similar store for large items	One space for each 800 square feet of floor display area, plus one space for each employee on the largest shift

(8) *Office.*

<i>Type of Use</i>	<i>Parking Spaces Required</i>
Medical, dental, or veterinary office or clinic	Three spaces for every examination or treatment room <u>for the first 20 rooms, one space for each examination or treatment room thereafter</u> , plus one space for each employee on the largest shift
Office/manufacturing combination	One space for each 300 square feet of office floor area, plus two spaces for each three employees on the largest shift within the manufacturing floor area portion
Professional and/or administrative office	One space for each 300 square feet of floor area, or one space for each employee, whichever is greater, plus one space for each vehicle used in the business and kept on the premises
Real estate, insurance, legal, finance or similar type of office	One space for each 200 square feet of floor area plus one space for each employee on the largest shift

(9) *Industrial.*

<i>Type of Use</i>	<i>Parking Spaces Required</i>
Manufacturing plant, warehouse, parcel delivery, freight terminal or similar use	Two spaces for each three employees on the largest shift for which the building is designed, plus one for each motor vehicle used in the business and maintained on the

• 158.118 USE, PARKING AND STORAGE OF VEHICLES AND RECREATIONAL VEHICLES.

(A) *Agricultural uses.* This section does not apply to those parcels classified as "Agricultural" under "class" by the Greene County Auditor's Office.

(B) *Commercial, construction and industrial vehicles and equipment.*

(1) The overnight parking or storage outside a fully enclosed building of any commercial vehicle is prohibited within any residentially zoned district or on any lot used for residential purposes. Commercial vehicles include step up vans, heavy trucks, semi-trailers, truck tractors, tractor trailers, moving vans, delivery trucks, box trucks, dump trucks, tow trucks, wreckers, buses, school buses, cranes, draglines, earthmovers, bulldozers, backhoes, trenchers or similar vehicles. The term also applies to any commercial vehicles which are used or licensed as a recreational vehicle and any vehicles used as a platform to hoist cranes, compressors, tank(s), ladder trucks, or similar equipment or as a means of transporting or storing a commercial vehicle. The overnight parking or storage of heavy trucks, semi-trailers, truck tractors, tractor trailers or similar vehicles is prohibited within any commercially zoned district or on any lot used for commercial purposes, except in areas designated and provided for standing, loading and unloading services, as defined in **• 158.113 OFF-STREET LOADING REGULATIONS.**

(2) The overnight parking outside of a fully enclosed building of any commercial vehicle within any commercial district is prohibited, with the exception of vehicles owned by the business and vehicles making scheduled deliveries to the commercial property.

(C) *Recreational vehicles.* All recreational vehicles stored or parked within the city, other than those districts in which the commercial storage of recreational vehicles is permitted, shall be in accordance with the following regulations:

(1) No recreational vehicle shall be used for living or sleeping when parked or stored on a residential lot.

(2) No more than two recreational vehicles are permitted to be located on a lot outside of a fully enclosed building.

(3) Recreational vehicles parked or stored shall not be connected to any utilities other than for maintenance purposes.

(4) All recreational vehicles, visiting or otherwise, shall be wholly parked in a parking area or driveway of Portland cement concrete, bituminous/asphalt concrete or continuous brick paver surface and in a manner so as to not obstruct the view of traffic.

(D) *Yard parking.*

(1) No person shall park or leave unattended, or cause to leave parked or unattended, any vehicle wholly or partially within any yard of any residential or commercial property, including adjacent public right-of-way (up to the edge of the road pavement), unless such vehicle is wholly within a driveway or parking area.

(1) If required, as determined by the Planning and Zoning Department, the application shall contain an original and copies of all application materials, as required on the checklist on file at the time of application with the Planning and Zoning Department in a quantity specified by the Planning and Zoning Department.

(2) Each plan shall bear statements declaring that no part of the land involved in the application has been previously used to provide required yard space or lot area for another structure.

(3) Where complete and accurate information is not readily available from existing records, the Planning and Zoning Department may require the applicant to furnish a survey of the lot by a registered engineer or surveyor.

(4) Each property owner or authorized agent shall be required to attest to the correctness of the statements and data furnished with the application.

(5) A file of such applications and plans shall be kept in the office of the Planning and Zoning Department, as required by the Ohio Historical Society.

(6) Approval of zoning permit. Within 45 days of an application being officially filed, the Planning and Zoning Department shall either approve or disapprove the application in conformance with the provisions of this chapter. One copy of the plan shall be returned to the applicant, after the Planning and Zoning Department shall have marked such copy either as approved or disapproved and attested to same by a representative of the Planning and Zoning Department's signature on such copy. One copy of plans, similarly marked, shall be retained by the Planning and Zoning Department. ~~The Planning and Zoning Department shall issue a placard, to be posted in a conspicuous place on the property in question, attesting to the fact that the application is in conformance with the provisions of this chapter.~~

(7) Submission to the Engineering Department. Before any zoning permit is issued affecting any land located within a drainage easement, the Engineering Department shall be provided a copy of the zoning permit application for review. The zoning permit shall include any condition(s) specified by the Engineering Department as part of the approval and issuance of the zoning permit. In addition, any structure approved to be placed within a drainage easement shall be maintained at the discretion of the Engineering Department.

~~(87)~~ Submission to Director of the Ohio Department of Transportation.

(a) Before any zoning permit is issued affecting any land within 300 feet of the centerline of a proposed new highway or highway for which changes are proposed, as described in the certification to local officials by the Director of the Ohio Department of Transportation or affecting any land within a radius of 500 feet from the point of intersection of the centerline with any public road or highway, the Planning and Zoning Department shall give notice by certified mail to the Director of the Ohio Department of Transportation. The Planning and Zoning Department shall not issue a zoning permit for 120 days from the date the notice is received by the Ohio Director of Transportation. If the Director of the Ohio Department of Transportation notifies the Planning and Zoning Department that the Director has purchased or begun proceedings to appropriate the land, the Planning and Zoning Department shall refuse to issue the zoning permit.

(b) If however, the Director of the Ohio Department of Transportation notifies the Planning

May 29, 2020

**STAFF REPORT
FINAL SUBDIVISION REQUEST
DARST ROAD MEDICAL
CASE NO. S 20-4**

APPLICANT: Jake Riley, Agent for the Owner
3176 Kettering Boulevard
Moraine OH 45439

**ENGINEER/
SURVEYOR:** Brumbaugh Engineering and Surveying
2270 South Miami Street
West Milton OH 45383

NATURE OF REQUEST

The applicant is requesting approval of a final subdivision for 1.817 acres of land one lot south of the intersection of Darst Road and Indian Ripple Road.

I. DISCUSSION

The subject property received approval from Planning Commission and City Council in February of 2020 for a medical office building. A condition of that approval required that the applicant record a final subdivision and dedicate right-of-way, since it is currently unplatted.

The subdivision will be made of a single lot, consisting of 1.584 acres. The remaining 0.233 acres along Darst Road will be dedicated to the City for right-of-way.

Comments were received from the various area agencies, utilities, and city departments commonly included in reviewing proposed plans during the record plan review process. All responding agencies recommended approval, or approval with conditions. Their comments will need to be addressed prior to the release of the record plan.



II. RECOMMENDATION

Staff recommends approval of this final subdivision request subject to the following conditions, which must be addressed prior to release of the record plan for recording.

1. The approved record plan shall be the plan stamped "Received May 7, 2020", except as modified below.
2. All conditions for approval of PC 20-2 shall remain in full force and effect.
3. All concerns and comments of the Planning and Zoning Department, City Engineer, Beavercreek Fire Dept., and Greene County Sanitary Engineering Department shall be satisfied prior to release of the record plan for recording.
4. Prior to release of the record plat for recording, the applicant shall provide a digital format file of the finalized subdivision in Autocad or .dxf format.

DESCRIPTION:
 THE WITHIN REPLY IS A SUBDIVISION CONTAINING 1.817 ACRES OF LAND AND A RIGHT OF WAY DEDICATION OF 0.233 ACRES LEAVING A REMAINDER OF 1.584 ACRES BEING ALL OF THE 1.814 ACRES CONVEYED TO SSK ENTERPRISES, LLC BY INSTRUMENT NO. 2019018319.

DEDICATION:
 WE THE UNDERSIGNED, BEING ALL THOSE OWNING ANY INTEREST IN THE LAND DESCRIBED IN THE WITHIN REPLY AND ALL LEVHOLDERS THEREON, DO HEREBY (VOLUNTARILY) SIGN AND ACKNOWLEDGE THE SIGNING AND EXECUTION OF THE WITHIN REPLY IN THE PRESENCE OF:

SSK ENTERPRISES, LLC:

DARST ROAD MEDICAL

LOCATED IN THE CITY OF BEAVERCREEK, SECTION 11, TOWN 2, RANGE 6, M.R.S. GREENE COUNTY, OHIO 1.817 ACRES APRIL 24, 2020

CITY OF BEAVERCREEK ZONING AUTHORITY:

APPROVED ON THIS DAY BY THE ZONING AUTHORITY FOR THE CITY OF BEAVERCREEK, OHIO.

SIGNATURE: _____ DATE: _____
 CITY OF BEAVERCREEK ZONING ADMINISTRATOR

GREENE COUNTY AUDITOR: _____ DATE: _____

WE HEREBY APPROVE AND ACCEPT THIS PLAT AND RECOMMEND THAT THE SAME BE RECORDED SUBJECT TO THE INCLUDED AGREEMENTS.

SIGNED THIS _____ DAY OF _____ 20__
 TRANSFERRED THIS _____ DAY OF _____ 20__

STATE OF OHIO, S.S. _____ BY: (PRINT NAME) _____
 THE FOREGOING INSTRUMENT WAS ACKNOWLEDGED BEFORE ME THIS _____ DAY OF _____ 20__ BY _____ AS OWNER FOR SSK ENTERPRISES, LLC.

NOTARY PUBLIC

PERTINENT DOCUMENTS:

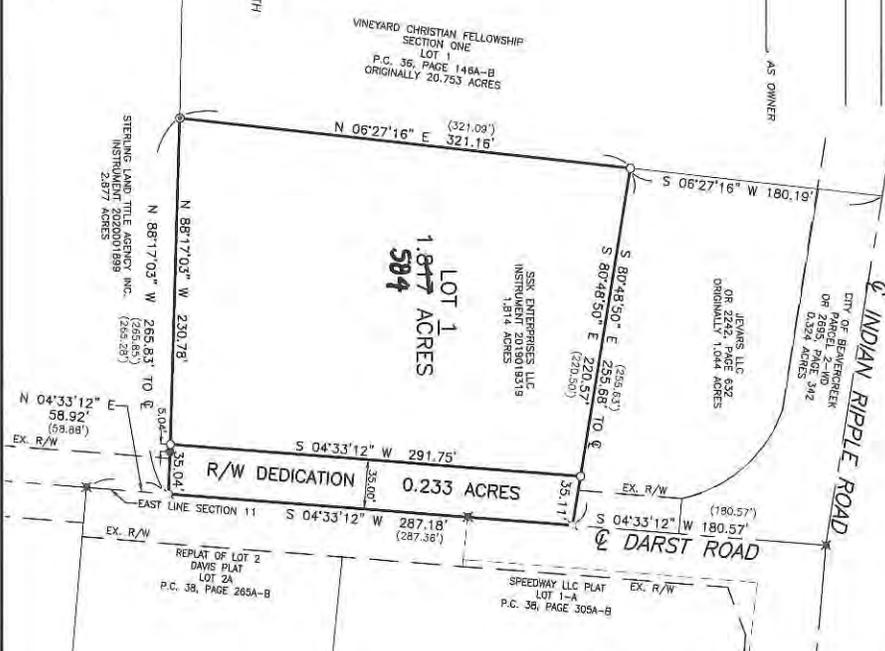
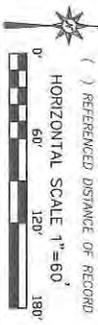
- PLATS OF SURVEYS:
 - SURVEY RECORD 42, PAGE 272
 - SURVEY RECORD 36, PAGE 84
 - AND AS SHOWN HEREON
- DEEDS:
 - AS SHOWN HEREON
- SUBDIVISION PLATS:
 - PLAT CABINET 36, PAGES 146A, 146B
 - AND AS SHOWN HEREON
- RIGHT OF WAY PLATS:
 - GREENE COUNTY PLAT AND DARST R/W
 - PLATS DATED 3-9-2006
 - AND AS SHOWN HEREON

BASIS OF BEARING:

OHIO STATE PLANE COORDINATE SYSTEM, OHIO SOUTH ZONE, NAD83 (2011) BEING THE CENTERLINE OF DARST ROAD BEARING S 04°33'12" W.

LEGEND:

- 5/8" X 5/8" OD IRON PIN (SET) WITH YELLOW PLASTIC CAP STAMPED BRUMBAUGH E&S
- 5/8" IRON PIN FOUND
- ⊙ 1" IRON PIPE FOUND
- ✱ RAILROAD SPIKE FOUND
- ✱ MAG NAIL SET



GREENE COUNTY RECORDER: _____

GREENE COUNTY RECORDER: _____

FILE NO. _____ PLAT CABINET VOL. _____ PAGES _____
 RECEIVED FOR RECORD THIS _____ DAY OF _____ 20__
 AT _____ M.

RECORDED THIS _____ DAY OF _____ 20__

GREENE COUNTY RECORDER: _____

CERTIFICATION

CITY OF BEAVERCREEK PLANNING DEPARTMENT

RECEIVED

APR 24 2020

I HEREBY CERTIFY TO THE BEST OF MY KNOWLEDGE THAT THIS PLAT REPRESENTS A FIELD SURVEY MADE BY ME OR UNDER MY DIRECT SUPERVISION OF BERNARD D. KIENOW, JR. AND THE MONUMENTS, THEIR LOCATION, SIZE OR POSITION, ARE CORRECT AND THAT ALL DIMENSIONS WILL BE SET AS NOTICED ON ALL DIMENSIONAL DETAILS ARE BELIEVED TO BE CORRECT.

BERNARD D. KIENOW, JR., P.S. DATE: _____
 OHIO LICENSE NO. 7456

BRUMBAUGH ENGINEERING & SURVEYING, LLC

2270 SOUTH MIAMI STREET
 WEST MILTON, OHIO 45383
 PHONE (937) 698-3000
 FAX (937) 698-3928

BES JOB #646-19 DRAWN BY SES CHECKED BY JJB